

**CITY OF MIRAMAR
PROPOSED CITY COMMISSION AGENDA ITEM**

Meeting Date: October 13, 2021

Presenter's Name and Title: Eric B. Silva, Director, on behalf of the Community Development Department

Prepared By: Deyman Rodriguez, Senior Planner, Community Development Department

Temp. Reso. Number: 7510

Item Description: Temp. Reso. No. 7510, CONSIDERING CONDITIONAL USE APPLICATION NO. 2101569, CONSIDERING VARIANCE APPLICATION NO. 2101570 FROM LAND DEVELOPMENT CODE SECTION 403, TABLE 403-2, FOR A BUILDING FRONT SETBACK, CONSIDERING SITE PLAN APPLICATION NO. 2101567 AND CONSIDERING COMMUNITY APPEARANCE BOARD APPLICATION NO. 2101568, FOR A 2,145 SQUARE FOOT DRIVE-THROUGH POPEYES LOUISIANA KITCHEN RESTAURANT, LOCATED ON AN OUTPARCEL OF THE MONARCH TOWN CENTER DEVELOPMENT ON THE NORTHWEST CORNER OF MIRAMAR PARKWAY AND FLAMINGO ROAD; AND PROVIDING FOR AN EFFECTIVE DATE. (*Community Development Director Eric Silva*)

Consent ☐ Resolution ☒ Ordinance ☐ Quasi-Judicial ☒ Public Hearing ☐

Instructions for the Office of the City Clerk: none

Public Notice – As required by the Sec. ____ of the City Code and/or Sec. ____, Florida Statutes, public notice for this item was provided as follows: on ____ in a ____ ad in the ____; by the posting the property on 09/03/2021 and/or by sending mailed notice to property owners within 1,000 feet of the property on 09/03/2021 (fill in all that apply)

Special Voting Requirement – As required by Sec. ____, of the City Code and/or Sec. ____, Florida Statutes, approval of this item requires a ____ (unanimous, 4/5ths etc.) vote by the City Commission.

Fiscal Impact: Yes ☐ No ☒

REMARKS: None


Content:

- **Agenda Item Memo from the City Manager to City Commission**
- **Resolution TR 7510**
- **Attachment(s)**
 - **Attachment 1: Location Map**
 - **Attachment 2: Popeyes CAB Architectural Design Review Summary**
 - **Attachment 3: Popeyes at Monarch Town Center Project Plans**
 - **Attachment 4: Popeyes Conditional Use Staff Analysis Report**
 - **Attachment 5: Popeyes Setback Variance Staff Analysis Report**



**CITY OF MIRAMAR
INTEROFFICE MEMORANDUM**

TO: Mayor, Vice Mayor, & City Commissioners

FROM: ^{Foe} Vernon E. Hargray, City Manager 

BY: Eric Silva, Director, Community Development Department

DATE: October 7, 2021

RE: Temp. Reso. No. 7510, for the approval of conditional use, site plan, Community Appearance Board, and associated front setback variance applications for a 2,145 square foot drive-through Popeyes Louisiana Kitchen restaurant

RECOMMENDATION: The City Manager recommends approval of Temp. Reso. 7510, Application 2101569 for conditional use, Application 2101570 for variance, Application 2101567 for site plan, and Application 2101568 for Community Appearance Board ("CAB"), for the development of a Popeyes restaurant, located on an outparcel of the Monarch Town Center development by the northwest corner of Miramar Parkway and Flamingo Road, with the following conditions:

1. All applicable state and federal permits shall be obtained before commencement of the Development subject to this approval;
2. Prior to the issuance of a building permit, the Applicant shall provide a final list of sustainable building, site, lighting and landscaping practices, consistent with the final construction documents, for review and approval by the Community Development Director; and
3. Any future renovation or exterior painting of the buildings and structures on the Subject Property subsequent to this approval shall be subject to the City's prior approval in accordance with the established design standards and Community Appearance procedures in effect at that time, including façade improvements, prior to the issuance of a building or zoning (repainting) permit.

ISSUE: City Commission approval is required for the site planning, the granting of conditional use requests, the granting of architectural design approval for new construction, and the granting of variances for properties within the City.

BACKGROUND: In October of 2018, the City Commission approved the Monarch Town Center site plan and CAB applications for the construction of a regional shopping center via Resolution 19-10. Since October of 2018, the development has been constructed, consisting of approximately 150,000 square feet of commercial area. Multiple businesses have already been established, including Publix Supermarkets, Publix Liquors, ROSS Dress for Less and Five Below, occupying the anchor locations within the main commercial building towards the rear of the development. The Applicant, Popeyes Louisiana Kitchen, Inc., is proposing a 2,145-square foot restaurant with dual drive-through lanes on a vacant portion (0.89-acres) of the existing AutoZone outparcel that abuts Flamingo Road. The proposed development will provide a total of 28 parking spaces, and three ingress and egress access points through two driveway connections to the adjacent AutoZone store, and a third driveway connection to the existing CVS Pharmacy directly south of the subject site. This site configuration allows the ability to separate the drive-through lanes from the regular drive aisles and be able to stack more than 11 vehicles.

Supplementing site plan Application 2101567 and CAB Application 2101568, the Applicant has submitted conditional use Application 2101569 and front setback variance Application 2101570. Pursuant to Chapter 4, Section 403, Table 403-1 of the City's Land Development Code, restaurants with a drive-through component require conditional use approval. The design and configuration of the proposed drive-thru restaurant is compatible with the existing AutoZone development directly north and with the existing CVS Pharmacy development directly south. The building orientation allows for Code-compliant dual drive-through lanes on the western and southern portions of the centralized restaurant building, and a drive isle with an excess of parking spaces on the north side of the building. As such, the land area is sufficient, appropriate, and adequate for the proposed drive-through use.

A front setback variance has been requested as there is a 15-foot-wide Utility Easement and 20-foot-wide Water Main Easement running parallel to Flamingo Road that prevents the placement of the building within the required 50-foot maximum front setback area. As such, the building is proposed 76.98 feet away from the property line. The proposed site configuration is most efficient as it places the 24-foot drive aisle and 20-foot buffer and foundation landscaping on the east side of the building, directly over portions of the aforementioned easements. The development of the Monarch Town Center, which is part of the same property where the proposed restaurant will be located, was granted relief from the front setback requirement by the City Commission in October of 2018, via Resolution 19-10, while the adjacent AutoZone Retail Auto Parts Store was also granted relief by the City Commission in 2020, via Resolution 20-73, as both developments faced the same conflict.

DISCUSSION: The Development Review Committee (“DRC”) recommended approval of the conditional use application, site plan, and front setback variance applications on August 11, 2021, and found it consistent with the Comprehensive Plan, Future Land Use Map and Land Development Code. Pursuant to procedures for conditional use requests, a community meeting was held on Monday, August 16, 2021; no members of the public were in attendance. The Planning and Zoning Board recommended approval of the conditional use application on August 17, 2021, and found it consistent with the Comprehensive Plan, Future Land Use Map, and Land Development Code. At the request of the Planning and Zoning Board, a second community meeting was held on Monday, September 20, 2021. Two members of the public attended. Most of the discussion was about healthy food options. The CAB recommended approval of the project on August 11, 2021, for the architectural and site design.

ANALYSIS: Neighborhood, community, and regional retail sales and service uses, and restaurants are permitted under the Commercial land use designation of the City’s Comprehensive Plan as per Policy 1.4 (a) and 1.4 (b).

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**CITY OF MIRAMAR
MIRAMAR, FLORIDA**

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF MIRAMAR, FLORIDA, CONSIDERING CONDITIONAL USE APPLICATION NO. 2101569, CONSIDERING VARIANCE APPLICATION NO. 2101570 FROM LAND DEVELOPMENT CODE SECTION 403, TABLE 403-2, FOR A BUILDING FRONT SETBACK, CONSIDERING SITE PLAN APPLICATION NO. 2101567 AND CONSIDERING COMMUNITY APPEARANCE BOARD APPLICATION NO. 2101568, FOR A 2,145 SQUARE FOOT DRIVE-THROUGH POPEYES LOUISIANA KITCHEN RESTAURANT, LOCATED ON AN OUTPARCEL OF THE MONARCH TOWN CENTER DEVELOPMENT ON THE NORTHWEST CORNER OF MIRAMAR PARKWAY AND FLAMINGO ROAD; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Popeyes Louisiana Kitchen, Inc. (hereinafter "Applicant/Developer") has submitted Application No. 2101569, a complete application for conditional use review as provided for in Section 305 of the LDC; and

WHEREAS, the DRC has reviewed the evaluated the conditional use Application No. 2101569, and determined that the conditional use is in substantial conformance with the applicable requirements, including those set forth in Section 305.7 of the LDC; and

WHEREAS, the Applicant/Developer have submitted Application No. 2101570, a complete application for variance review as provided for in Section 315 of the LDC; and

WHEREAS, the DRC has reviewed the evaluated the Variance Application No. 2101570, and determined that the variance is in substantial conformance with the applicable requirements, including those set forth in Section 315.7 of the LDC; and
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WHEREAS, the Applicant/Developer has submitted Application No. 2101567, a complete application for site plan review as provided for in Section 310 of the LDC; and

WHEREAS, pursuant to Section 310 of the LDC, the DRC has evaluated the Site Plan Application No. 2101567, and has determined that the site plan is in substantial conformance with the applicable requirements, including those set forth in Section 310.6 of the LDC; and

WHEREAS, the Applicant/Developer has submitted Application No. 2101568, a complete application for Community Appearance Review ("CAB") review as provided for in Section 311 of the LDC; and

WHEREAS, pursuant to the established community appearance design criteria and procedural rules of Sections 311 and 813 of the LDC, the CAB reviewed the submitted materials for Application No. 2101568, and determined that the application is in substantial conformance with the established criteria; and

WHEREAS, the Applicant/Developer has complied with the courtesy notice requirements of Section 301.11.1. of the LDC; and

WHEREAS, the Applicant/Developer has voluntarily agreed to the conditions set forth in Section 4 of this Resolution; and

WHEREAS, the City Manager recommends approval; and

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WHEREAS, the City Commission finds that the approval of Conditional Use Application No. 2101569, Variance Application No. 2101570, Site Plan Application No. 2101567, and CAB Application No. 2101568, are in the best interest of the citizens and residents of the City of Miramar, Florida.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF MIRAMAR, FLORIDA AS FOLLOWS:

Section 1: Recitals; Definitions.

- (a) That the foregoing “**WHEREAS**” clauses are ratified and confirmed as being true and correct and are made a specific part of this Resolution.
- (b) As used herein, unless the context or City Code of Ordinances requires to the contrary, the following terms will be defined as set forth below:
 - (1) “City” means the City of Miramar, a Florida Municipal Corporation.
 - (2) “Development” is defined as set forth in Section 163.3164, Florida Statutes.
 - (3) “DRC” means the City’s Development Review Committee.
 - (4) “CAB” means the City’s Community Appearance Board.
 - (5) “LDC” means the City’s Land Development Code of Ordinances.
 - (6) “Applicant/Developer” means Popeyes Louisiana Kitchen, Inc., its successors and assigns.

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(7) "Site Plan" means the 38-page document entitled Site Development Drawings for Popeyes Monarch Town Center.

(8) "Subject Property" is real property situate and lying in the State of Florida, County of Broward, City of Miramar, to-wit:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF PARCEL A, PARK PLAZA SHOPPES, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 166, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Section 2: Applications in Substantial Compliance. That it finds that:

(a) The **Conditional Use application** of the Applicant/Developer for a drive-thru restaurant use, on the Subject Property is in substantial compliance with the requirements of Section 305 of the LDC. Conditional Use Application No. 2101569 should be approved subject to the Site Plan as set forth in sub-section 2(c) of this Resolution.

(b) The **Variance application** from the 50-foot front maximum setback requirement, as per Chapter 4, Section 403, TABLE 403-2 of the LDC, on the Subject Property is in substantial compliance with the requirements of Section 315 of the LDC. Variance Application No. 2101570 will allow the Applicant/Developer to locate the building 76.98 feet away from the property line and should be approved subject to the Site Plan as set forth in sub-section 2(c) of this Resolution.

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(c) The **Site Plan application** for the Applicant/Developer on the Subject Property is in substantial compliance with the requirements of Section 310 of the LDC. Approval of Application No. 2101567 will approve the Site Plan subject to the above conditional use and variance applications.

(d) The **Community Appearance Board application** for the Applicant/Developer on the Subject Property is in substantial compliance with LDC Sections 311 and 813. Approval of Application No. 2101568 will grant architectural design approval for new construction at the Subject Property.

Section 3: Approval of Applications. That subject to the conditions of approval set forth in Section 4 of this Resolution, the City Commission hereby approves:

(a) **Conditional Use Application No. 2101569**, allowing a drive-thru restaurant use, for the Applicant/Developer on the Subject Property, as recommended for approval by the DRC on August 11, 2021, and Planning and Zoning Board on August 17, 2021.

(b) **Variance Application No. 2101570**, allowing the restaurant building 76.98 feet away from the front property line, for the Applicant/Developer on the Subject Property, as recommended for approval by the DRC on August 11, 2021.

(c) **Site Plan Application No. 2101567**, approving the Site Plan for the Applicant/Developer on the Subject Property, as recommended for approval by the DRC on August 11, 2021.

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(d) **Community Appearance Board Application No. 2101568**, granting architectural design approval of the new construction for the Applicant/Developer on the Subject Property and based in part on the Site Plan, as recommended for approval by the CAB on August 11, 2021.

Section 4: Conditions of Approval. That the following conditions shall apply to this approval:

1. All applicable state and federal permits shall be obtained before commencement of the Development subject to this approval; and
2. Prior to the issuance of a building permit, the Applicant shall provide a final list of sustainable building, site, lighting, and landscaping practices, consistent with the final construction documents, for review and approval by the Community Development Director; and
3. Any future renovation or exterior painting of the buildings and structures on the Subject Property subsequent to this approval shall be subject to the City's prior approval in accordance with the established design standards and Community Appearance procedures in effect at that time, including façade improvements, prior to the issuance of a building or zoning (repainting) permit.

Section 5: Approval does not Create a Vested Right. That issuance of this approval by the City does not in any way create any right on the part of the Applicant/Developer to obtain a permit from a state or federal agency and does not create

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any liability on the part of the City for issuance of the approval if the Applicant/Developer fails to obtain the requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in the violation of state or federal law. All applicable state and federal permits must be obtained before commencement of the Development. This condition is included pursuant to Section 166.033, Florida Statutes, as amended.

Section 6: Failure to Adhere to Resolution. That failure to adhere to the approval terms and conditions contained in this Resolution shall be considered a violation of this Resolution and the City Code, and persons found violating this Resolution shall be subject to the penalties prescribed by the City Code, including but not limited to the revocation of any of the approval(s) granted in this Resolution and any other approvals conditioned on this approval. The Applicant/Developer understands and acknowledges that it must comply with all other applicable requirements of the City Code before it may commence construction or operation, and that the foregoing approval in this Resolution may be revoked by the City at any time upon a determination that the Applicant/Developer is in non-compliance with the City Code.

Section 7: Severability. That should any phrase, clause, sentence, paragraph, or section of this Resolution be declared unconstitutional by the valid judgment or decree of a court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining portions or applications which shall remain in full force and effect.

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Section 8: **Administrative Correction of Scrivener's Error.** The City Attorney is hereby authorized to correct scrivener's errors found in this Resolution by filing a corrected copy with the City Clerk.

Section 9: **Effective Date.** That this Resolution shall become effective upon adoption.

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PASSED AND ADOPTED this _____ day of _____, _____.

Mayor, Wayne M. Messam

Vice Mayor, Yvette Colbourne

ATTEST:

City Clerk, Denise A. Gibbs

I HEREBY CERTIFY that I have approved
this RESOLUTION as to form:

City Attorney,
Austin Pamies Norris Weeks Powell, PLLC

Requested by Administration

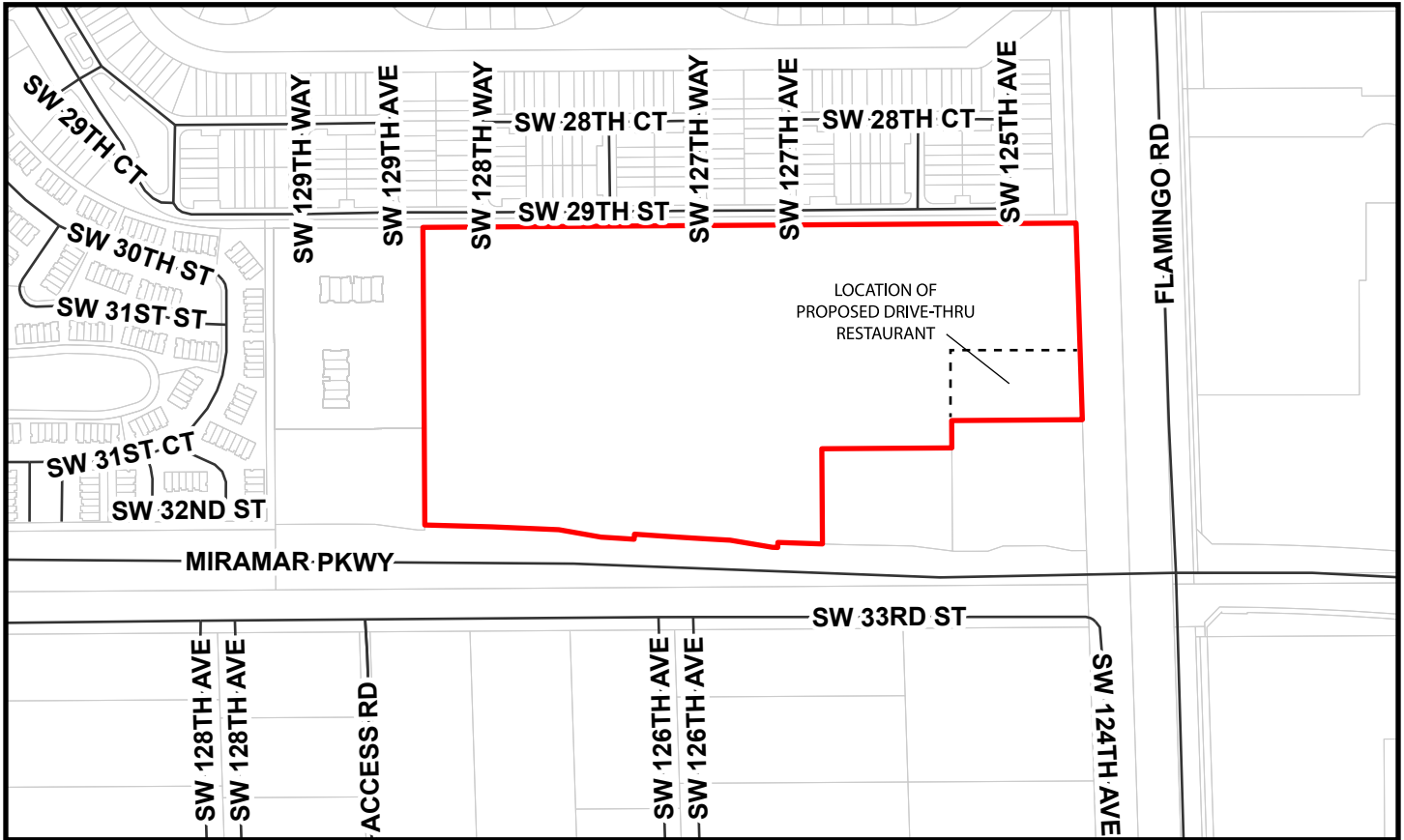
Commissioner Winston F. Barnes
Commissioner Maxwell B. Chambers
Vice Mayor Yvette Colbourne
Commissioner Alexandra P. Davis
Mayor Wayne M. Messam

Voted

Reso. No. _____

Location Map/Aerial View
SP 2101567 / CAB 2101568 / CU 2101569 / VR 2101570

Attachment 1



0 500 1,000 Feet





Community Appearance Board

ARCHITECTURAL DESIGN SUMMARY

PROJECT NAME Popeyes Monarch Town Center

APPLICATION Application No. 2101568

This approval is regarding the proposed single-story, Popeyes restaurant commercial development. The proposed site development is located within the outparcel of the Monarch Town Center at the Northwest corner of Miramar Parkway and Flamingo Road. The proposed development is accessible from Flamingo Road with proposed sufficient general and ADA accessible parking spaces. The site design calls for sufficient landscape islands and buffers. The separation of vehicular and pedestrian access is well defined, as is the dumpster placement, loading zone, drive through/stacking lanes and directional signage. The proposed landscape design incorporates a well-defined mixture of species to enhance the overall visual architectural aesthetics. The building is set back within the site to allow for an ease of vehicular circulation and drive through access.

The building design is consistent with the City's established architectural design standards. All elevations have a well distributed mix of materials, heights, textures, and decorative elements. The front entrance/West facade is defined by a central feature wall with built up EIFS banding and extends to a height of approximately 24'-0" A.F.F. A generous storefront system extends for most of the width of the feature wall providing adequate lighting to the main dining area. And canopies are placed over the main entrance and storefront to provide shading from the sun and protection to users. The side entrance/North facade has an asymmetrical rhythm of textured EIFS + 18" Fiber Cement Panels + textured EIFS. An additional textured EIFS base of approximately 2'-6" is incorporated at the two EIFS sections and two faux louvered shutters provide another level of detailing. Both storefront entrances are clearly identified through the use of the brand's signature orange.

RECOMMENDED FOR APPROVAL: Y/N

CAB CONSULTANT ARCHITECT: Anson M. Stuart, AIA



Community Appearance Board

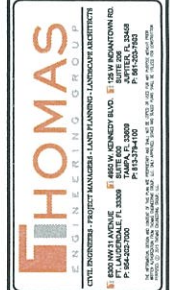
ARCHITECTURAL DESIGN SUMMARY

The East façade serves as the rear of the building but carries a similar architectural aesthetic of the North façade without the building entry. The South façade serves as the drive through and is also similar in architectural aesthetic as the North façade without the building entry. The drive through window is well protected by a metal canopy and large storefront systems provide adequate lighting to the dining area. Lastly, the selected color pallet is acceptable and provides modest complements to the proposed architectural design.

RECOMMENDED FOR APPROVAL: Y/N

CAB CONSULTANT ARCHITECT: Anson M. Stuart, AIA

SITE DEVELOPMENT DRAWINGS FOR:
POPEYE'S
MONARCH TOWN CENTER
12421 MIRAMAR PARKWAY, CITY OF MIRAMAR, FL 33027
SECTION 26, TOWNSHIP 51 S, RANGE 40 R
FOR
POPEYE'S, INC.



REV.	DATE	CHANGED BY	BY



PROJECT No.	P20008
DRAWN BY:	CAD
CHECKED BY:	MTX
DATE:	08/11/2021
CAD I.D.	P20008 COVER SHEET

PROJECT:	POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD
FOR:	POPEYE'S
12421 MIRAMAR PARKWAY CITY OF MIRAMAR (33027) FLORIDA	



SHEET TITLE:	COVER SHEET
SHEET NUMBER:	C01

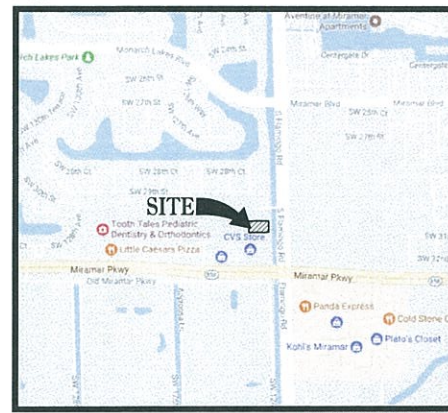
VICINITY \ AERIAL MAP

1"=1000'



LOCATION MAP

1"=1000'



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PROJECT TEAM

CIVIL ENGINEER:
 THOMAS ENGINEERING GROUP
 MAXWELL T. KAPLAN, P.E.
 6300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 PH 954.202.7000

SURVEYOR:
 JOHN IBARRA & ASSOCIATES, INC.
 JOHN IBARRA
 777 NW 72 AVENUE SUITE 3025
 MIAMI, FL 33126
 PH 305.262.0400

ARCHITECT:
 HAROLD HUTTER III
 LAND INVESTMENT SERVICES, LLC
 2572 WEST STATE ROAD 426
 OVIEDO, FL 32765
 PH 321.244.9419

PROPERTY OWNER:
 MIRAMAR INVESTMENT PARTNERS, LLC
 301 E LAS OLAS BLVD
 FORT LAUDERDALE, FL 33301

LANDSCAPE ARCHITECT:
 THOMAS ENGINEERING GROUP
 MICHAEL GROSSWIRTH, PLA, ASLA, ISA
 6300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 PH 954.202.7000

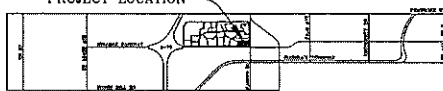
PREPARED BY



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6300 NW 31ST AVENUE
 FT. LAUDERDALE, FL 33309
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
 A PORTION OF PARCEL A, PARK PLAZA SHOPPER, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 196, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:



LOCATION MAP
CITY OF MIRAMAR
(NOT TO SCALE)

PARK PLAZA SHOPPES

BEING A REPLAT OF A PART OF TRACTS 26, 27, 28, 30, 31, AND 32 IN SECTION 26, TOWNSHIP 51 SOUTH, RANGE 40 EAST OF "THE EVERGLADES SUGAR AND LAND COMPANY SUBDIVISION", AS RECORDED IN PLAT BOOK 2, PAGE 39 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. SAID LANDS SITUATE IN THE CITY OF MIRAMAR, BROWARD COUNTY, FLORIDA.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS, THAT SUNTRUST BANK, SOUTH FLORIDA N.A., A NATIONAL BANKING ASSOCIATION, FORMERLY KNOWN AS SUNBANK, AS SUCCESSOR TRUSTEE UNDER LAND TRUST NUMBERS 7180 AND 7180, TRUSTEE OF THE LANDS SHOWN AND DESCRIBED HEREON, HAVE CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "PARK PLAZA SHOPPES", A REPLAT, AND DO HEREBY DEDICATE AS FOLLOWS:

- THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES, INCLUDING BUT NOT LIMITED TO CABLE TELEVISION COMPANIES, AND SHALL BE KEPT FREE OF PERMANENT OBSTRUCTIONS.
- ROAD PARCEL "B" IS HEREBY DEDICATED TO THE CITY OF MIRAMAR FOR PUBLIC ROAD PURPOSES.
- THE BUS SHELTER EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.
- NO IMPROVEMENTS, TREES OR ENCROACHMENTS INCLUDING UTILITIES (EXCEPT FOR OVERHEAD POWER, CABLE OR TELEPHONE LINES WITH A MINIMUM 25 FOOT CLEARANCE) OR LANDSCAPING ARE ALLOWED WITHIN EASEMENTS DEDICATED TO THE SOUTH BROWARD DRAINAGE DISTRICT WITHOUT THE APPROVAL OF AND A PERMIT FROM THE SOUTH BROWARD DRAINAGE DISTRICT. IT IS THE INTENT OF THIS PROMOTION THAT ALL UTILITIES (EXCEPT FOR OVERHEAD POWER, CABLE OR TELEPHONE LINES WITH A MINIMUM 25 FOOT CLEARANCE) PROPOSED TO BE CONSTRUCTED WITHIN UTILITY EASEMENTS THAT CROSS OR CONJOIN WITH EASEMENTS DEDICATED TO THE SOUTH BROWARD DRAINAGE DISTRICT MUST BE REVIEWED AND PERMITTED BY SOUTH BROWARD DRAINAGE DISTRICT.
- THE TRAFFIC CONTROL EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO BROWARD COUNTY FOR INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL FACILITIES.
- THE DRAINAGE EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE SOUTH BROWARD DRAINAGE DISTRICT.

IN WITNESS WHEREOF, SUNTRUST BANK, SOUTH FLORIDA N.A., A NATIONAL BANKING ASSOCIATION, FORMERLY KNOWN AS SUNBANK, AS SUCCESSOR TRUSTEE UNDER LAND TRUST NUMBERS 7180 AND 7180, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS SENIOR VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS 21 DAY OF JULY, 1999.

SUNTRUST BANK, SOUTH FLORIDA N.A., AS SUCCESSOR TRUSTEE UNDER LAND TRUST NUMBERS 7180 AND 7180.

WITNESS: *Michael R. Reed*
MICHAEL R. REED
SENIOR VICE PRESIDENT

WITNESS: *James R. Blinn*
JAMES R. BLINN
SENIOR VICE PRESIDENT

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF BROWARD

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28 DAY OF JULY, 1999, BY KENNETH L. BROWN, AS SENIOR VICE PRESIDENT OF SUNTRUST BANK, SOUTH FLORIDA N.A., A NATIONAL BANKING ASSOCIATION, FORMERLY KNOWN AS SUNBANK, AS SUCCESSOR TRUSTEE UNDER LAND TRUST NUMBERS 7180 AND 7180. HE IS PERSONALLY KNOWN TO ME.

MY COMMISSION EXPIRES: 8/31/01 BY: *William S. Brown*
NAME: *William S. Brown*

COMMISSION NO.: 000666 VL NOTARY PUBLIC - STATE OF FLORIDA

DESCRIPTION:

A PARCEL OF LAND LYING WITHIN THE EVERGLADES SUGAR AND LAND COMPANY SUBDIVISION OF SECTIONS 26, 27, 28, 30, 31, AND 32, TOWNSHIP 51 SOUTH, RANGE 40 EAST AND THE EAST HALF OF TOWNSHIP 51 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 ON PAGE 39 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. SAID PARCEL OF LAND CONTAINS PART OF TRACTS 26, 27, 28, 30, 31 AND 32 IN SECTION 26, TOWNSHIP 51 SOUTH, RANGE 40 EAST, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE WEST QUARTER CORNER OF SECTION 26, TOWNSHIP 51 SOUTH, RANGE 40 EAST (NOTE: REFERENCE TO SECTIONS OF LAND, SECTION LINES AND THE LINES OF SUBDIVISION OF THOSE SECTIONS ARE DEDICATED UPON THE GRANT THOMPSON AND ASSOCIATES INC. REDEVELOPMENT ALL OF TOWNSHIP 51 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN MISCELLANEOUS PLAT BOOK 4 ON PAGE 4 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THENCE N 01°45'24" W, ALONG THE WEST LINE OF SAID SECTION 26, A DISTANCE OF 500.02 FEET; THENCE N 89°37'19" E, ALONG THE NORTH RIGHT OF WAY LINE FOR MIRAMAR PARKWAY (ROAD NO. 81) AS DESCRIBED IN DEED BOOK 634 ON PAGE 183 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID RIGHT OF WAY LINE BEING 50.00 FEET NORTH OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL TO THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION 26, A DISTANCE OF 1270.70 FEET TO THE POINT OF BEGINNING; THENCE N 02°21'41" W, DEPARTING SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 749.97 FEET; THENCE N 89°37'19" E, A DISTANCE OF 1858.24 FEET TO THE INTERSECTION WITH THE WEST RIGHT OF WAY LINE OF SHAW CREEK ROAD, STATE NO. 623 AS DESCRIBED IN DEED BOOK 634 ON PAGE 183 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID WEST RIGHT OF WAY LINE BEING 100.00 FEET WEST OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL TO THE EAST LINE OF SAID SECTION 26, TOWNSHIP 51 SOUTH, RANGE 40 EAST; THENCE S 01°45'24" E, ALONG SAID WEST RIGHT OF WAY LINE PARALLEL TO THE EAST LINE OF SAID SECTION 26, A DISTANCE OF 850.25 FEET TO THE INTERSECTION WITH THE SAID NORTH RIGHT OF WAY LINE FOR MIRAMAR PARKWAY (ROAD NO. 81) AS DESCRIBED IN DEED BOOK 634 ON PAGE 183 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID RIGHT OF WAY LINE BEING 50.00 FEET NORTH OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL TO THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION 26; THENCE S 89°37'19" W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 1907.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF MIRAMAR, BROWARD COUNTY, FLORIDA, CONTAINS 1,017.400 SQUARE FEET OR 23.0160 ACRES, MORE OR LESS.

SUBJECT TO RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD.



BROWARD COUNTY ENGINEERING DIVISION:

THIS PLAT IS HEREBY APPROVED AND ACCEPTED FOR RECORD.

BY: *Henry P. Cook* DATE: 2-11-99

HENRY P. COOK
DIRECTOR OF ENGINEERING
PLA. P.R. REG. 10-13506

BY: *William S. Payne* DATE: 2-2-99

WILLIAM S. PAYNE
COUNTY SURVEYOR
PROFESSIONAL SURVEYOR AND MAPPER #15 5685
STATE OF FLORIDA

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH DEDICATION OF RIGHTS-OF-WAY FOR TOWNSHIP 51 SOUTH, RANGE 40 EAST, JULY 2, 1997.

BY: *Charles J. Peterson* DATE: 3/26/98

CHARLES J. PETERSON
PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS 26 DAY OF FEBRUARY, 1998.

BY: *James R. Blinn*
ADMINISTRATOR OR DESIGNEE

BROWARD COUNTY FINANCE & ADMINISTRATIVE SERVICE DEPARTMENT COUNTY RECORDS DIVISION MINUTES SECTION:

THIS IS TO CERTIFY THAT THIS PLAT COMPLES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORDS BY THE COUNTY OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS 28 DAY OF FEBRUARY, 1999.

ATTEST: ROGER J. DESARJAS, COUNTY ADMINISTRATOR

BY: *Roger J. Desarjas* DATE: *2/28/99*
COUNTY COMMISSION DEPUTY

BROWARD COUNTY FINANCE & ADMINISTRATIVE SERVICE DEPARTMENT COUNTY RECORDS DIVISION RECORDING SECTION:

THIS PLAT WAS FILED FOR RECORD THIS 28 DAY OF FEBRUARY 1999 AND RECORDED IN PLAT BOOK 1166, PAGE 3D.

ATTEST: *Roger J. Desarjas* BY: *Renee Andrews*
COUNTY ADMINISTRATOR DEPUTY

BROWARD COUNTY DEPARTMENT OF STRATEGIC PLANNING AND GROWTH MANAGEMENT:

THIS PLAT IS HEREBY APPROVED AND ACCEPTED FOR RECORD.

BY: *Pete M. Roe* DATE: *January 28, 1999*
DIRECTOR

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177. THE PERMANENT CONTROL POINTS (P.C.P.'S) WILL BE SET WITHIN ONE YEAR OF THE DATE THIS PLAT IS RECORDED OR PRIOR TO THE EXPIRATION OF THE BOND OR OTHER SURETY FOR THE CONSTRUCTION OF THE REQUESTED IMPROVEMENTS. THE BENCH-MARKS SHOWN ARE REFERENCED TO NATIONAL GEODETIC SURVEY DATA (N.G.V.D.) OF 1929 IN CONFORMITY WITH STANDARDS ADOPTED BY THE NATIONAL OCEANIC SURVEY FOR THE THIRD ORDER CONTROL STANDARDS.

BY: *Michael F. Spurr* DATE: 11-28-97

MICHAEL F. SPURR
REGISTERED LAND SURVEYOR NO. 3260
STATE OF FLORIDA
FOR BROWARD COUNTY ENGINEERING GROUP, INC.
5100 NORTH FEDERAL HIGHWAY, SUITE 2
ROSA PATON, FLORIDA 33487
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NO. 18-3353

CITY OF MIRAMAR:

THIS IS TO CERTIFY THAT THIS PLAT'S DEDICATION TO THE CITY HAS BEEN ACCEPTED AND THAT SAID PLAT HAS BEEN APPROVED FOR RECORD BY THE COMMISSION OF THE CITY OF MIRAMAR, FLORIDA, IN AND BY RESOLUTION ADOPTED BY THE COMMISSION, THIS 11 DAY OF FEBRUARY, 1999, BY RESOLUTION NO. 1999-13.

IN WITNESS WHEREOF, THE SAID COMMISSION HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY ITS CITY MANAGER AND THE CORPORATE SEAL OF SAID CITY TO BE HERETO AFFIXED, THIS 11 DAY OF FEBRUARY, 1999.

ATTEST: *Michael F. Spurr* BY: *William S. Payne*
COUNTY CLERK CITY OF MIRAMAR CITY OF MIRAMAR
1-13

CITY ENGINEER:

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS 28 DAY OF JANUARY, 1999.

BY: *Brij M. Gang*
CITY ENGINEER

SOUTH BROWARD DRAINAGE DISTRICT:

PRIOR TO DEVELOPMENT OF THIS PROPERTY, OWNER SHALL CONTACT THE SOUTH BROWARD DRAINAGE DISTRICT FOR DETERMINATION OF ADDITIONAL DRAINAGE/DRAINAGE/PLAT/LOCAL EASEMENTS AND/OR OTHER DEDICATIONS WHICH MAY BE REQUIRED BY THE SOUTH BROWARD DRAINAGE DISTRICT FOR DRAINAGE PURPOSES.

THIS PLAT IS HEREBY APPROVED THIS 22 DAY OF JANUARY, 1999.

BY: *Robert B. Thomas* DATE: 1/22/99
DISTRICT DIRECTOR

BY: *Robert B. Thomas* DATE: 12-4-97
SUPERVISOR



TRUSTEE



TRUSTEE NOTARY



SURVEYOR



CITY OF MIRAMAR



CITY ENGINEER



COUNTY ENGINEER



COUNTY SURVEYOR



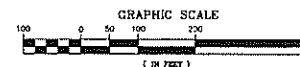
COUNTY CLERK

CITY OF MIRAMAR			
APPROVAL			
DEVELOPMENT REVIEW COMMITTEE			
DATE: 08/11/2021			
DRAWN: DATE: CHECKED BY: SHEET: 1 OF 2			
D. COFFI 3-12-96 M.F. SPURR			

PARK PLAZA SHOPPES

BEING A REPLAT OF A PART OF TRACTS 26, 27, 28, 30, 31 AND 32 IN SECTION 26, TOWNSHIP 51 SOUTH, RANGE 40 EAST OF "THE EVERGLADES SUGAR AND LAND COMPANY SUBDIVISION", AS RECORDED IN PLAT BOOK 2 ON PAGE 39 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. SAID LANDS SITUATE IN THE CITY OF MIRAMAR, BROWARD COUNTY, FLORIDA.

PARCEL "P"
MONARCH LAKES
P.B. 163, PG. 41, B.C.R.



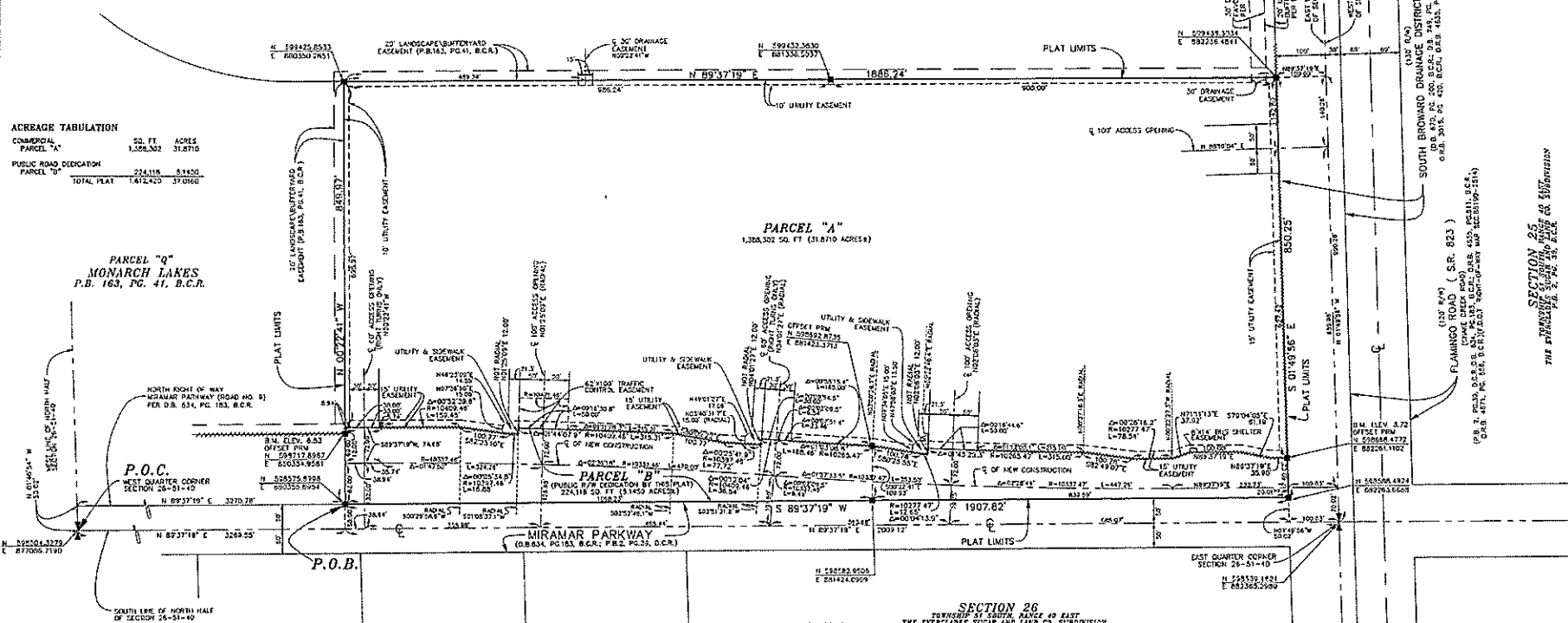
SECTION 25
THE EVERGLADES SUGAR AND LAND CO. SUBDIVISION
P.B. 3, PG. 38, B.C.R.

- LEGEND:**
- 1. ■ INDICATES PERMANENT REFERENCE MONUMENT (P.R.M.)
 - 2. P.O.B. INDICATES POINT OF BEGINNING
 - 3. D.B. INDICATES DEED BOOK
 - 4. O.R.B. INDICATES OFFICIAL RECORD BOOK
 - 5. B.C.R. INDICATES BROWARD COUNTY RECORDS
 - 6. B.C.R. INDICATES BROWARD COUNTY RECORDS
 - 7. B.C.R. INDICATES BROWARD COUNTY RECORDS
 - 8. B.W. ELEV. INDICATES BENCHMARK ELEVATIONS LOCATED ON TOP OF PERMANENT REFERENCE MONUMENTS
 - 9. S.O. FT. INDICATES SURFACE OF EARTH
 - 10. INDICATES NON-VEHICULAR ACCESS ENCL.
 - 11. N. 851143.5223 E. 877004.6433 INDICATES NORTH-VEHICULAR ACCESS ENCL.
 - 12. R. INDICATES RIGHT-OF-WAY
 - 13. A. INDICATES ADJACENT
 - 14. Δ INDICATES DELTA ANGLE
 - 15. L. INDICATES LENGTH OF ARC
 - 16. P.B. INDICATES PLAT BOOK
 - 17. PG. INDICATES PAGE
 - 18. S. INDICATES CENTERLINE
 - 19. R/W INDICATES RIGHT-OF-WAY

ACREAGE TABULATION

COMMERCIAL	SQ. FT.	ACRES
PARCEL "A"	1,268,302	31.8710
PARCEL "Q"	224,118	5.1450
TOTAL PLAT	1,492,420	37.0160

PARCEL "Q"
MONARCH LAKES
P.B. 163, PG. 41, B.C.R.

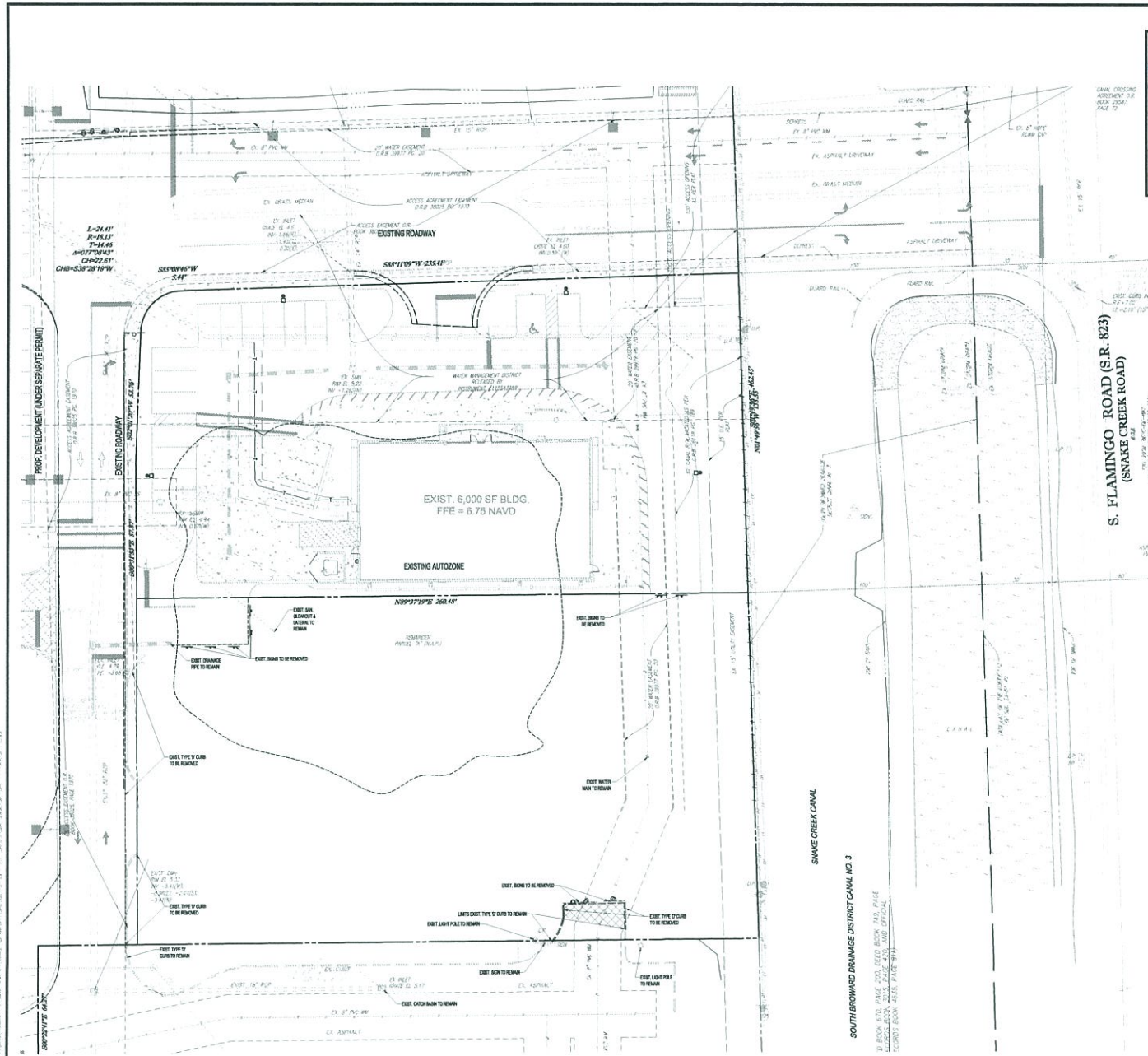


SURVEYOR'S NOTES:

- STATE PLANE COORDINATES AND GRID BEARINGS SHOWN HEREON ARE RELATIVE TO THE NAD83 GEODETIC SURVEY TRANSFORMED COORDINATES, FLORIDA EAST ZONE. FINAL DATA BASED ON ADJUSTMENT OF OCTOBER, 1974 ACCORDING TO THE CROWN THOMPSON AND ASSOCIATES, INC. RECOVERY ALL OF TOWNSHIP 51 SOUTH, RANGE 40 EAST, AS RECORDED IN BROWARD COUNTY PLAT BOOK 6, PAGE 4 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND AS TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1983 ADJUSTMENTS. THE COORDINATES SHOWN HEREON ARE RELATIVE TO THE BEARING N 87°37'19" E SHOWN FOR THE SOUTH LINE OF THE NORTH HALF OF SECTION 26, TWP. 51 S., R. 40 E.
- BENCHMARK ORIGIN - BROWARD COUNTY ENGINEERING BENCHMARK NO. 2718 ELEVATION 7.043 IN FEET AND DECIMAL PARTS THEREOF DESCRIBED AS BN #1 IN BENCHMARK IN SOUTH END OF PARALLEL MIRAMAR PARKWAY, 130' WEST OF WEST BUILDING LINE OF RESIDENCE #1753. PLAT RESTRICTIONS:
- A. THIS PLAT IS RESTRICTED TO 518,950 SQUARE FEET OF COMMERCIAL USE. THIS NOTE IS REQUIRED BY CHAPTER 3, ARTICLE 10, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE PAID BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THEREON ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR CO-OWNER OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
- B. IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY WELLS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY SEPTEMBER 2, 2002, WHICH DATE IS FIVE (5) YEARS FROM THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S TREASURY OF ADEQUACY SHALL EXPIRE AND NO ADDI-

- TOTAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME AND/OR
- C. IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY SEPTEMBER 2, 2002, WHICH DATE IS FIVE (5) YEARS FROM THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY MAKES A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THIS REQUIREMENT MAY BE SATISFIED FOR A PHASE OF THE PROJECT, PROVIDED A PHASING PLAN HAS BEEN APPROVED BY BROWARD COUNTY. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEFINITION OF THE SUBDIVISION LAIDS DESCRIBED HEREON AND WILL IN NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR LEGAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

CITY OF MIRAMAR		Approved by Dominick Cofa Michael P. Sperr Planning Group, Inc.	
DEVELOPMENT REVIEW COMMITTEE		DATE 08/11/2021	
APPROVAL	DATE	CHECKED BY	SHEET
D.CIOFFI	3-12-96	M.F.SPERR	2 OF 2



SITE LOCATION MAP

CONTRACTOR SHALL REFER TO LANDSCAPE PLANS FOR TREE REMOVAL/RELOCATION.

- DEMOLITION NOTES:**
1. THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:
CITY OF MIRAMAR
17700 17TH AVENUE
SUITE 200
MIRAMAR, FLORIDA 33189
DATED 08/11/2021
 2. THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
 3. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
 4. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 5. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-485-4476.
 6. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 7. INSTALLING THE REQUIRED SOD, EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO BEGIN DEMOLITION.
 8. LOCATING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND FIBER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 9. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING DEMOLISHED DURING THE DEMOLITION ACTIVITIES.
 10. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN IDENTIFIED AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE CITY AND UTILITY COMPANY REQUIREMENTS.
 11. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 12. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ALL BUILDINGS AND/OR STRUCTURES TO BE DEMOLISHED SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANNUAL CONTAMINANTS SHALL BE IDENTIFIED AND DISPOSED BY A LICENSED ENVIRONMENTAL CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOLID WASTE ACT OR OTHER APPLICABLE STATE OR FEDERAL ACT. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE.
 13. SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY AND METHODOLOGY NECESSARY.
 14. TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE, THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
 15. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTOR BY COMING STRUCTURAL OR GEOTECHNICAL ENGINEER.
 16. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND REMAINING VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
 17. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
 18. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROAD, STREET, SIDEWALK, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE REGISTERED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
 19. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE SETBACK PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AUTHORITY.
 20. USE RISK CONTROL MEASURES TO AVOID AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJOINING STRUCTURES AND IMPROVEMENTS SHALL BE CLEARED OF ALL DUST AND DEBRIS. THE CONTRACTOR SHALL MAINTAIN ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
 21. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE DEMOLITION IN SUCH A MANNER AS TO UNAUTHORIZED PERSONS AT ANY TIME.
 22. THE DEMOLITION PLAN IS INTENDED TO IDENTIFY DEMOLITION ACTIVITIES IN DIRECTION OTHER THAN THAT ALL METHODS ACCORDANCE WITH STATE, FEDERAL, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER SAFETY REGULATIONS NECESSARY TO THE PROJECT.
 23. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

THOMAS
ENGINEERING GROUP
17700 17TH AVENUE
SUITE 200
MIRAMAR, FL 33189
P: 305.433.7000
F: 305.433.7001
WWW.THOMASENGINEERINGGROUP.COM

REV	DATE	REVISION	BY

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SITE PLAN SUBMITTAL

PROJECT NO: F20008
DRAWN BY: MTH
CHECKED BY: MTH
DATE: 08/11/2021
F20008 (DEMOLITION PLAN)

PROJECT: POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

FOR: POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS
ENGINEERING GROUP
17700 17TH AVENUE
SUITE 200
MIRAMAR, FL 33189
P: 305.433.7000
F: 305.433.7001
WWW.THOMASENGINEERINGGROUP.COM

MAXWELL T. KAPLAN
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 12508
P: 305.433.7000
F: 305.433.7001
WWW.THOMASENGINEERINGGROUP.COM

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 08/11/2021

DEMOLITION PLAN

SHEET NUMBER: **DP01**



PLAN DESIGNATION CALLOUT

TRUCK RUBBLE STRIP AREA



CATCH BASIN FABRIC



SILT FENCE DETAIL

[illegible]

1) SILT FENCE TO BE CONSTRUCTED WHERE ARE LOWER THAN ADJACENT ONSITE ELE

2) CATCH BASIN FABRIC TO BE PLACED ON A TO SEDIMENTATION FROM THIS PROJECT.

3) ALL EROSION CONTROL DEVICES SUCH AS RUBBER STRIPS, SILT FENCE AND OTHER BMPs SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

APPROVAL

DR
C
DA

CITY OF MIRAMAR

DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

THOMAS

ENGINEERING GROUP
ENGINEERS • PROJECT MANAGERS • LAND PLANNING • LANDSCAPE ARCHITECTS

600 NW 31 AVENUE
SUITE 200
MIAMI, FL 33109
P: 305-262-7000

4800 W. KENNEDY BLVD.
SUITE 300
TAMPA, FL 33609
P: 813-274-1100

125 W. HICKAMTOWN RD.
SUITE 101
AURORA, IL 60005
P: 815-263-7653

WE OFFER A FULL RANGE OF SERVICES FOR THE CONSTRUCTION INDUSTRY. WE ARE CURRENTLY SEEKING QUALIFIED PROFESSIONALS TO JOIN OUR TEAM. IF YOU ARE INTERESTED, PLEASE CONTACT US AT THE ABOVE ADDRESSES OR BY PHONE. WE WILL BE GLAD TO PROVIDE YOU WITH MORE INFORMATION.

[illegible]

**KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG**

It's fast. It's free. It's the best.

SITE PLAN SUBMITTAL

POPEYE'S
MIRAMAR PARKWAY
& FLAMINGO ROAD

POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS
ENGINEERING GROUP

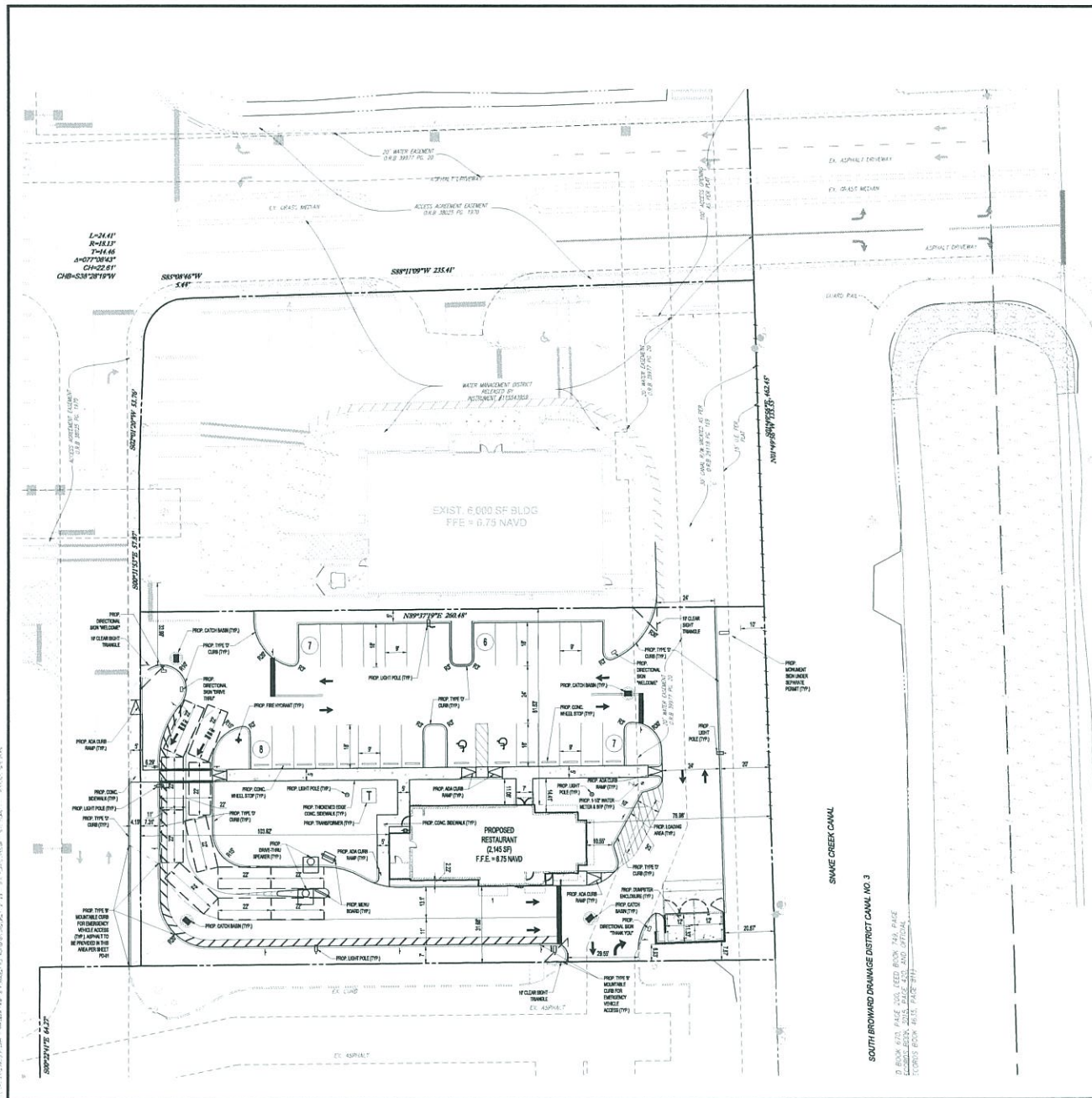
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomaseEngineeringGroup.com

MAXWELL T. KAPLAN
No. 63366

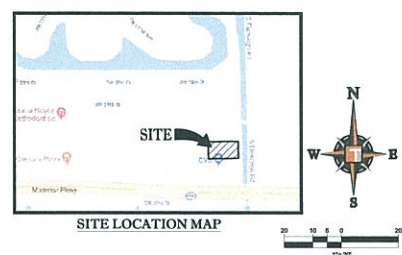
PROJECT TITLE:

**EROSION CONTROL
PLAN**

SHEET NUMBER:
ECP01



S. FLAMINGO ROAD (S.R. 823)
(SNAKE CREEK ROAD)



SITE DATA

NAME OF PROJECT: POPEYE'S
SECTION, TOWNSHIP, RANGE: 26S1540E
FOLD NUMBER: 5145-26-04-010
FEMA FLOOD ZONE: AH (ELEVATION 5) PER FIRM PANEL 120110710H
WATER/WASTEWATER SERVICE PROVIDER: CITY OF MIRAMAR
EXISTING USE: VACANT
LAND USE DESIGNATION: COMMERCIAL
EXISTING ZONING DISTRICT: B-2 (COMMUNITY BUSINESS)
PROPOSED ZONING: B-2 (COMMUNITY BUSINESS)
SITE AREA: 0.889 AC (38,726 SF)
BUILDING FOOTPRINT COVERAGE: 0.049 AC (2,145 SF)
PROPOSED USES: FAST FOOD RESTAURANT W/ DRIVE THRU
FLOOR AREA RATIO (FAR): 0.0554
HEIGHT (STORES/FEET): 1 STORY/12'-4"

BUILDING SETBACKS (FEET):

	REQUIRED	PROVIDED
NORTH (SIDE)	20 (MIN.)	81.57'
EAST (FRONT)	50 (MAX.)	75.98'
SOUTH (SIDE)	20 (MIN.)	31.99'
WEST (REAR)	20 (MIN.)	103.82'

*VARIANCE APPROVAL REQUESTED FOR FRONT SETBACK

SITE AREA BREAKDOWN

	SF.	ACRES
IMPERVIOUS	2,145	0.049
BUILDING	22,487	0.518
PAVEMENT/ASPHALT	2,903	0.067
TOTAL IMPERVIOUS	27,535	0.632

PERVIOUS AREA

	11,191	0.257	28.9%
GREEN SPACE			

PARKING ANALYSIS:

REQUIRED:	BLDG AREA (S.F.)	RATE	SPACES
USE	2,145	1 SPY 100 SF	22
RESTAURANT			
TOTAL			22
PROVIDED:	26 SPACES		
STANDARD ADA SPACES	2 SPACES		
TOTAL	28 SPACES		

LOADING:

BUILDING	FLOOR AREA	REQUIRED:	PROVIDED:
1	2,145	1 SPACE	1 SPACE

NOTES:
DRIVE THRU RESTAURANTS REQUIRE CONDITIONAL USE APPROVAL IN THE B-2 ZONING DISTRICT

- NOTES:
1. ALL SIGNAGE POLES SHALL BE DECORATIVE.
2. MONUMENT SIGNS MUST INCLUDE ADDRESS NUMERALS.

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 08/11/2021

THOMAS
ENGINEERING GROUP
CITY ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
4300 NW 31ST AVENUE, SUITE 100
FORT LAUDERDALE, FL 33309
TEL: (954) 202-7000
FAX: (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

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SITE PLAN SUBMITTAL

PROJECT NO.	PROJECT NAME
2020088	POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

FOR
POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS
ENGINEERING GROUP
4300 NW 31ST AVENUE, SUITE 100
FORT LAUDERDALE, FL 33309
TEL: (954) 202-7000
FAX: (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

MAXWELL T. KAPLAN
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 12000
FLORIDA BOARD OF PROFESSIONAL ENGINEERS
1901 N. W. 11TH AVENUE, SUITE 100
FORT LAUDERDALE, FL 33304

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
SC01



1 1/2" TYPE SP-5 STRUCTURAL COURSE
ASPHALT SURFACE TO BE INSTALLED
IN (2) 3" LIFTS WITH TACK COAT BETWEEN
LIFTS

8" LIMESTONE BASE (MIN LBR 100)

12" STABILIZED SUBGRADE (MIN LBR 40)

ELEVATION

NOTES:

1. POST TO BE DECORATIVE PER
DETAIL ON SHEET PMS01
2. CONCRETE BASE SHALL BE 2,000
PSI CONCRETE.
3. SIGN TO CONFORM TO MUTCD
R1-1-30"x30"
(HIGH INTENSITY).

NOTES:

1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.
2. SAWCUTS AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.

TYPE 'D' CURB

The diagram illustrates the longitudinal section of a sidewalk expansion joint, divided into two types:

- TYPE A JOINT: 1/2" EXPANSION JOINT (TYP.)**: This joint features a 1/2" radius (TYP.) at the bottom of the joint opening. The joint is 1/4" deep and 5'-0" wide. It is shown with a 1/4" expansion joint on the right side.
- TYPE B JOINT: 1 1/2" DEEP X 3/4" WIDE JOINT WITH 1/2" RADIUS AS REQUIRED**: This joint is 1 1/2" deep and 3/4" wide. It also features a 1/2" radius at the bottom. The joint is 5'-0" wide and is shown with a 1/4" expansion joint on the right side.

Both types of joints are shown with a 1/4" expansion joint on the right side. The diagram also includes a note for the joint width: "VARIES (SEE TABLE A)" and a note for the joint depth: "SLOPE DOWN 02 FT/FT". The joint is shown with a 1/2" radius at the bottom. The joint is shown with a 1/4" expansion joint on the right side. The joint is shown with a 1/4" expansion joint on the right side.

WIDTH	ROADWAY APPLICATION
4'	LOCAL STREET ACCESSES
5'	TWO-LANE COLLECTOR
5'	FOUR-LANE COLLECTOR
6'	ARTERIAL ROADWAYS

SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. P.T. OF CURVES
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS

[illegible]

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6300 NW 31 AVENUE
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TAMPA, FL 33609
P: 813-252-7500
F: 813-252-7503

1215 W. ROXBOROUGH
SUITE 100
TAMPA, FL 33609
P: 813-252-7503
F: 813-252-7503

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[illegible]

SITE PLAN SUBMITTAL

PROJECT No.:	F200008
DRAWN BY:	CAD
CHECKED BY:	MTK
DATE:	02/17/2021
CAD I.D.:	F200008 SITE PLAN DETAILS

PROJECT:

**POPEYE'S
MIRAMAR PARKWAY
& FLAMINGO ROAD**

—FOR—
POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA



8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7570
www.ThomasEngineeringGroup.com



PROFESSIONAL ENGINEER
 State of California
 No. 10000
 12/15/2011

FLORIDA BUREAU OF DEPT. OF HEALTH No. 27528

SITE PLAN DETAILS

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

SHEET NUMBER:

SC02

555

27" INTERNALLY-ILLUMINATED CHANNEL LETTERS & TAGLINE W/ CL ON 1" BACKER - 39.07 SQ FT

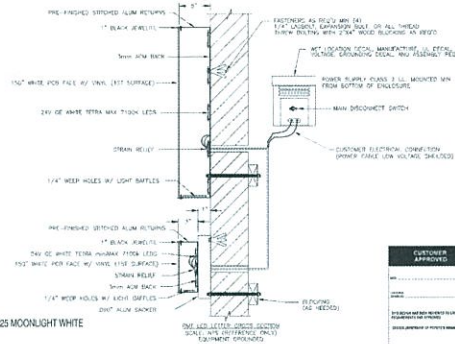


SPECIFICATIONS:

POPEYES
FACES: 150" WHITE PCB FACES W/1ST SURFACE VINYL
 3030-84 TANGERINE
RETURNS: 5" ALUMINUM PRE-FINISHED BLACK
BACKS: 3MM ACM BACKS
TRIP CAP: 1" BLACK JEWELITE
ILLUMINATION: 24V GE WHITE TETRA MAX 7100K LEDS

LOUISIANA KITCHEN

FACES: 150" WHITE PCB FACES W/1ST SURFACE VINYL
 3030-84 TANGERINE
RETURNS: 5" ALUMINUM PRE-FINISHED BLACK
BACKS: 3MM ACM BACKS
TRIP CAP: 1" BLACK JEWELITE
BACKER: 030" ALUMINUM 1" BACKER - PAINT TO MATCH BY 00125 MOONLIGHT WHITE
ILLUMINATION: 24V GE WHITE TETRA MAX 7100K LEDS



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 FAX: 850-762-0873
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COLOR NOTES

- 1. 24" PRE-FINISHED BLACK
- 2. 24" PRE-FINISHED BLACK
- 3. 24" PRE-FINISHED BLACK
- 4. 24" PRE-FINISHED BLACK

REVISION

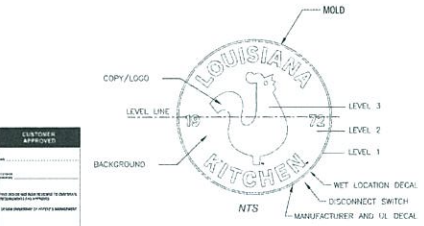
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2.	01/01/21	XXXXXX
3.	01/01/21	XXXXXX
4.	01/01/21	XXXXXX

ARTIST: MIB
CLIENT: POPEYES
SCALE: 1" = 1'-0"
DATE: 01/01/21
LOCATION: MIRAMAR, FL
MANUFACTURER: ENTERA

36" ILLUMINATED BUILDING SEAL - 7.07 SQ FT



SPECIFICATIONS: BUILDING SEAL
FACES: 150" CLEAR PCB FACES W/3030-84 TANGERINE &
 3030-20 WHITE VINYL SECOND SURFACE
RETURNS: 5" ALUMINUM PRE-FINISHED BLACK
BACKS: 3MM ACM BACKS
RETAINER: 3/8" X 1 1/2"
ILLUMINATION: GE TETRAMAX 24V 7100K WHITE LEDS



PANNED & EMBOSSED DETAIL
 NTS FOR ILLUSTRATION ONLY
 (A) FLANGE STD 3/4"
 (B) EMBOSMENT HEIGHT STD 1/4"
 (C) RETAINER F-MOLD ALUM RETAINER
 (D) MATERIAL THICKNESS .150" PCB
 (E) ROUTER BIT: 1" ROUNDED BIT .22" TAPER
 PCB ACrylic AcrySteel

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 FAX: 850-762-0873
 www.enteraonline.com

COLOR NOTES

- 1. 24" PRE-FINISHED BLACK
- 2. 24" PRE-FINISHED BLACK
- 3. 24" PRE-FINISHED BLACK
- 4. 24" PRE-FINISHED BLACK

REVISION

NO.	DATE	DESCRIPTION
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2.	01/01/21	XXXXXX
3.	01/01/21	XXXXXX
4.	01/01/21	XXXXXX

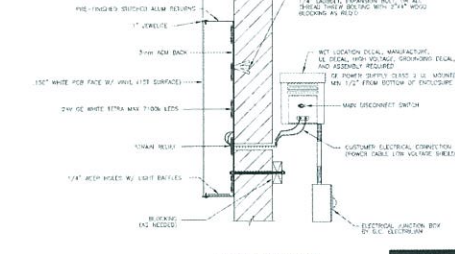
ARTIST: MIB
CLIENT: POPEYES
SCALE: 1" = 1'-0"
DATE: 01/01/21
LOCATION: MIRAMAR, FL
MANUFACTURER: ENTERA

27" INTERNALLY-ILLUMINATED REMOTE MOUNT CHANNEL LETTERS - 32.25 SQ FT



SPECIFICATIONS: LETTERS

FACES: 150" #7328 WHITE PCB FACES W/3030-84 ORANGE VINYL FIRST SURFACE
RETURNS: 5" ALUMINUM PRE-FINISHED BLACK COIL
BACKS: 3MM ACM BACKS
TRIP CAP: 1" BLACK JEWELITE
ILLUMINATION: GE TETRAMAX 24V 7100K WHITE LEDS



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 FAX: 850-762-0873
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COLOR NOTES

- 1. 24" PRE-FINISHED BLACK
- 2. 24" PRE-FINISHED BLACK
- 3. 24" PRE-FINISHED BLACK
- 4. 24" PRE-FINISHED BLACK

REVISION

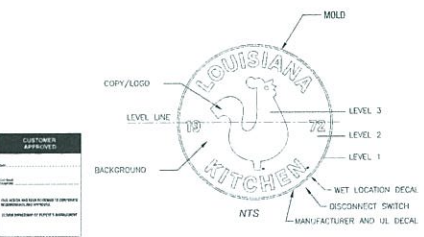
NO.	DATE	DESCRIPTION
1.	01/01/21	XXXXXX
2.	01/01/21	XXXXXX
3.	01/01/21	XXXXXX
4.	01/01/21	XXXXXX

ARTIST: MIB
CLIENT: POPEYES
SCALE: 1" = 1'-0"
DATE: 01/01/21
LOCATION: MIRAMAR, FL
MANUFACTURER: ENTERA

48" ILLUMINATED BUILDING SEAL - 12.57 SQ FT



SPECIFICATIONS: BUILDING SEAL
FACES: 150" CLEAR PCB FACES W/3030-84 TANGERINE &
 3030-20 WHITE VINYL SECOND SURFACE
RETURNS: 5" ALUMINUM PRE-FINISHED BLACK
BACKS: 3MM ACM BACKS
RETAINER: 3/8" X 1 1/2"
ILLUMINATION: GE TETRAMAX 24V 7100K WHITE LEDS



PANNED & EMBOSSED DETAIL
 NTS FOR ILLUSTRATION ONLY
 (A) FLANGE STD 3/4"
 (B) EMBOSMENT HEIGHT STD 1/4"
 (C) RETAINER F-MOLD ALUM RETAINER
 (D) MATERIAL THICKNESS .150" PCB
 (E) ROUTER BIT: 1" ROUNDED BIT .22" TAPER
 PCB ACrylic AcrySteel

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 PH: 850-762-7162
 FAX: 850-762-0873
 www.enteraonline.com

COLOR NOTES

- 1. 24" PRE-FINISHED BLACK
- 2. 24" PRE-FINISHED BLACK
- 3. 24" PRE-FINISHED BLACK
- 4. 24" PRE-FINISHED BLACK

REVISION

NO.	DATE	DESCRIPTION
1.	01/01/21	XXXXXX
2.	01/01/21	XXXXXX
3.	01/01/21	XXXXXX
4.	01/01/21	XXXXXX

ARTIST: MIB
CLIENT: POPEYES
SCALE: 1" = 1'-0"
DATE: 01/01/21
LOCATION: MIRAMAR, FL
MANUFACTURER: ENTERA

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
 DATE: 08/11/2021

THOMAS
 PROJECT MANAGER: LARRY J. THOMAS
 180 VENTURE CROSSING BLVD
 PANAMA CITY, FL 32409
 PH: 850-762-7162
 FAX: 850-762-0873
 www.thomasgroup.com

REVISIONS

NO.	DATE	DESCRIPTION
1.	01/01/21	XXXXXX
2.	01/01/21	XXXXXX
3.	01/01/21	XXXXXX
4.	01/01/21	XXXXXX

ARTIST: MIB
CLIENT: POPEYES
SCALE: 1" = 1'-0"
DATE: 01/01/21
LOCATION: MIRAMAR, FL
MANUFACTURER: ENTERA

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SITE PLAN SUBMITTAL

PROJECT NO: F20008
DRAWN BY: CAD
CHECKED BY: MIB
DATE: 01/01/21
PROJECT: F20008 MASTER SIGN PLAN

POPEYE'S
 MIRAMAR PARKWAY & FLAMINGO ROAD
 FOR
POPEYE'S

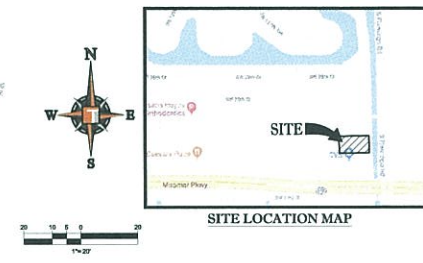
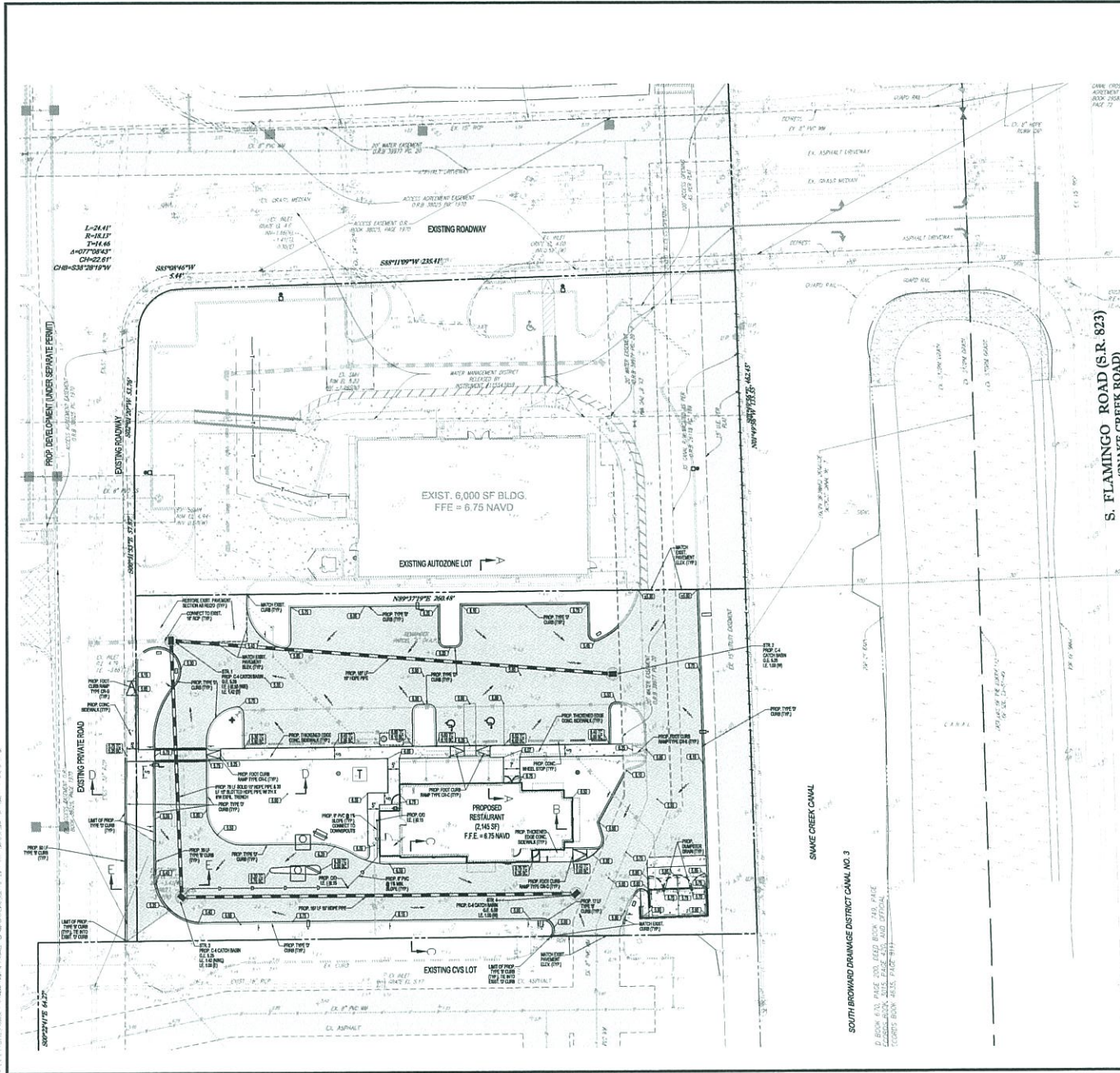
12425 MIRAMAR PARKWAY
 CITY OF MIRAMAR (33027)
 FLORIDA

THOMAS
 6000 NW 11TH AVENUE
 FORT LAUDERDALE, FL 33309
 PH: 954-200-7000
 FAX: 954-200-7070
 www.ThomasGroup.com

MAXWELL T. KAPLAN
 PROFESSIONAL ENGINEER
 1000 N. W. 11TH AVENUE
 FORT LAUDERDALE, FL 33309
 FLORIDA (PROFESSIONAL ENGINEER NO. 27508)

SHEET TITLE:
MASTER SIGN PLAN

SHEET NUMBER:
MSP01



- CONSTRUCTION NOTES:**
- CONTRACTOR TO SHARPOFF AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALKS, CONC. CURBS AND ASPHALT DRIVEWAYS. OTHERWISE, ALL BASE AND SUBGRADE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
 - CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A MODERN TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
 - CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
 - CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
 - CONTRACTOR TO SOIL ALL DISTURBED AREAS, INCLUDING MAINTAINING SLOPE AND SOIL UNITS. COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHENEVER COMES LAST.
 - ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
 - THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PRESENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
 - THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORAGE TANKS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO NEARER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
 - NOTIFY SUNSHINE STATE ONE CALL (1-800-452-4778) OR (311) PRIOR TO CONSTRUCTION.
 - PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
 - THE CONTRACTOR SHALL NOT EXCEED ANY ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
 - THE EXISTING UNDERGROUND UTILITIES SHOWN ARE FOR AROUND GROUND SURVEY DATA AND UTILITY AS BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
 - PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
 - 2.0% MINIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
 - ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
 - EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
 - EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
 - NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
 - SIZE, GRADES, AND LOCATION FOR DRAINAGE ELEMENTS SHALL BE DETERMINED BY THE ENGINEERING DEPT.
 - ALL UNDESIRABLE MATERIAL SUCH AS BRICK, PLASTIC, GLASS, AND/OR METAL SHALL BE REMOVED FROM ROADWAYS AREAS. THE AREA SHALL THEN BE BACKFILLED ACCORDING TO THE GEOTECH REPORT.

NOTE:

AS PER SECTION 916.15.3.1 OF CIVIL LAND DEVELOPMENT CODE, NEW NON-RESIDENTIAL BUILDINGS SHALL HAVE THE LOWEST FLOOR ELEVATION TO OR ABOVE THE ELEVATION REQUIRED BY THE FLORIDA BUILDING CODE. THE BASE FLOOR ELEVATION PLUS 1 FOOT, OR 6 INCHES ABOVE THE HIGHEST ROAD CROWN ELEVATION OF THE CENTRELINE OF THE ADJACENT STREET, WHICHEVER IS GREATER. FLOOD ELEVATION FOR THIS SITE IS 1.540 PER FEMA MAP 2106010506A.

DATUM NOTE:
ALL ELEVATIONS SHOW HEREON ARE IN FEET AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8). ADD 1.58 TO CONVERT TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD).

FOR THE USE OF HOPE DRAINAGE PIPE: THE ENGINEER OF RECORD SHALL PERFORM FULL TIME INSPECTION DURING INSTALLATION OF HOPE DRAINAGE PIPE AND PROVIDE INSPECTION REPORTS AND CERTIFICATION OF PROPER INSTALLATION TO CITY.

EXFILTRATION TRENCH DESIGN:
IF WIDE BY 2 DEEP
PIPE INVERT 1.42 NAVD
PIPE DIAMETER 18"
TOP OF TRENCH EL. 3.17 NAVD
BOTTOM OF TRENCH EL. 0.47 NAVD

HATCH LEGEND

PROPOSED ASPHALT PAVEMENT	PROPOSED CONCRETE	PROPOSED PAVEMENT RESTORATION
PROPOSED WATER/SEWER DRAINAGE EASEMENT	EXIST. WATER/SEWER EASEMENT	

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 08/11/2021

APPROVAL

THOMAS ENGINEERING GROUP, INC.
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
TEL: (954) 282-7000
FAX: (954) 282-7070
www.thomasingrpingroup.com

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SITE PLAN SUBMITTAL

PROJECT NO.: F20006
DRAWN BY: MCM
CHECKED BY: JST
DATE: 08/11/21
F20006 PSD PLAN

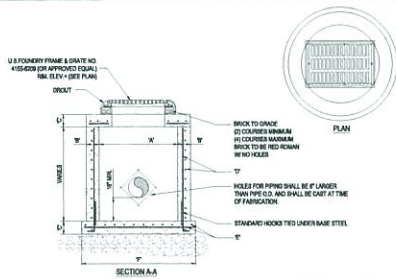
PROJECT: POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD
FOR POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

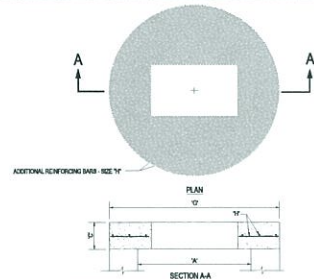
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FORT LAUDERDALE, FL 33309
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www.thomasingrpingroup.com

MAXWELL T. KAPLAN
PROFESSIONAL ENGINEER
No. 52361
FLORIDA BOARD OF ENGINEERING
FLORIDA BOARD OF ENGINEERING
FLORIDA BOARD OF ENGINEERING

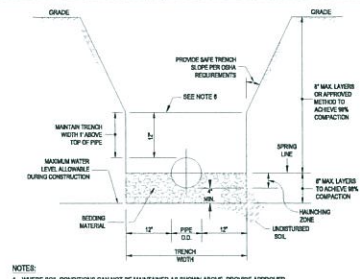
SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN
SHEET NUMBER: PD01



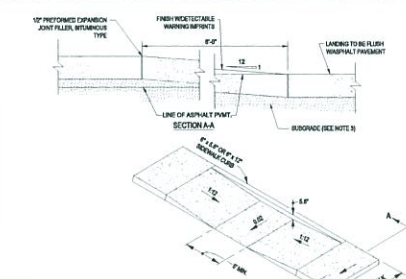
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C-4	4'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-6	6'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	7'0\"/>
C-8	6'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-7	7'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-8	6'0\"/>	10'0\"/>	10'0\"/>	2\" W x 4\" D @ 12\"/>	#4 @ 12\"/>	10'0\"/>



TYPE	1'	2'	3'	4'	5'	6'
C-4	4'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-6	6'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	7'0\"/>
C-8	6'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-7	7'0\"/>	8'0\"/>	8'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	8'0\"/>
C-8	6'0\"/>	10'0\"/>	10'0\"/>	#4 @ 12\"/>	#4 @ 12\"/>	10'0\"/>



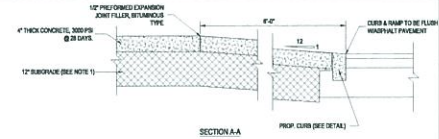
- NOTES:
1. WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 2. REINFORCING MATERIAL SHALL CONSIST OF WELDED GRATED ASTM A305 R10 (2\"/>



- NOTES:
1. SIDEWALK SHALL BE 4\"/>

1 PRECAST CIRCULAR CATCH BASIN

SCALE: NONE



- NOTES:
1. SURGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 95% OF MAX. DENSITY PER AASHTO T-99.
 2. SIDEWALK RAMP TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST FOR AASHTO.
 3. RAMP WIDTH FOR CURB RAMP MAY BE REDUCED TO 7' MIN. IN RESTRICTED CONDITIONS WHEN APPROVED BY THE ENGINEER.
 4. LOWER LANDING NOT REQUIRED AT DRIVEWAY PARKING LOTS, OR OTHER AREAS WITH PAVEMENT CROSS-SLOPE LESS THAN 2% (2.0%).



5 ADA CURB RAMP DETAIL - FDOT TYPE CR-C

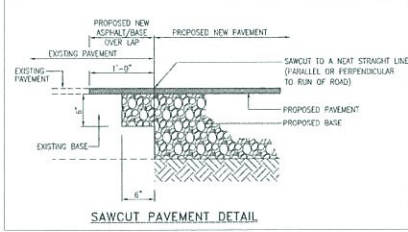
SCALE: NONE

2 PRECAST CONCRETE-TOP SLAB

SCALE: NONE

3 TRENCH DETAIL

SCALE: NONE



4 ADA SIDEWALK RAMP DETAIL - FDOT CR-C

SCALE: NONE

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FX: (954) 202-7070
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REV	DATE	REVISION	BY

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SITE PLAN SUBMITTAL

PROJECT NO.:	F2009B
DRAWN BY:	CAD
CHECKED BY:	MEK
DATE:	08/07/2021
CAD (L):	F2009B POST DETAIL

PROJECT:

POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

FOR

POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS ENGINEERING GROUP

3300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MAXWELL T. KAPLAN

PROFESSIONAL ENGINEER
No. 65361
FLORIDA LICENSE NO. 12017
FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 2758

SHEET TITLE:

PAVING, GRADING & DRAINAGE DETAILS

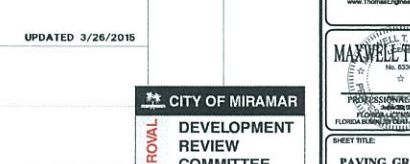
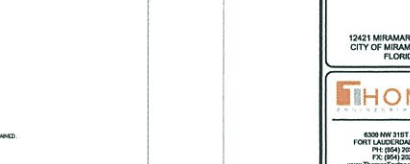
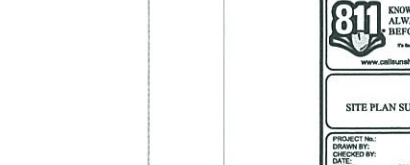
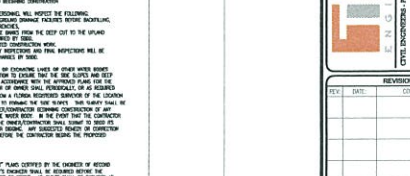
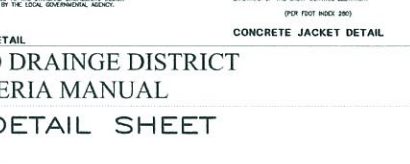
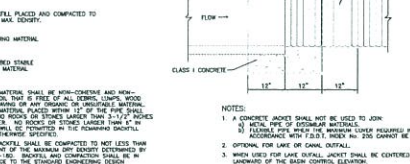
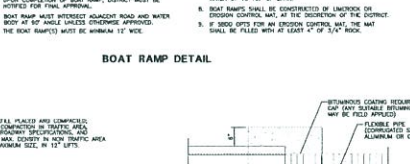
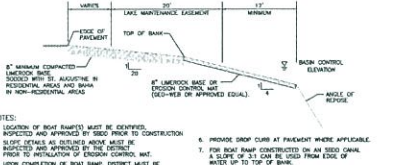
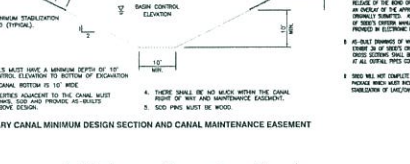
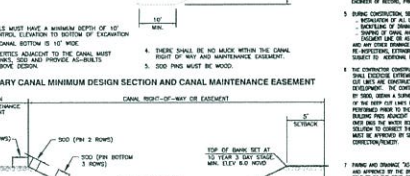
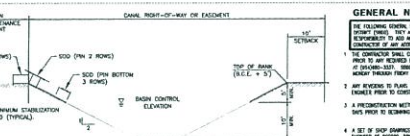
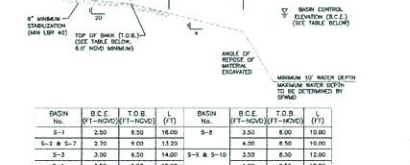
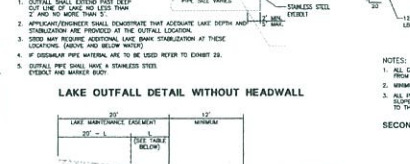
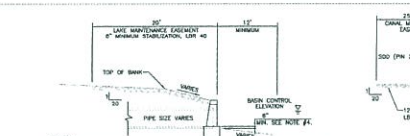
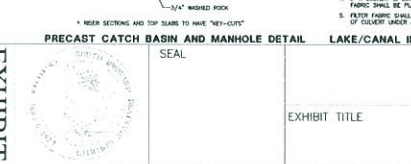
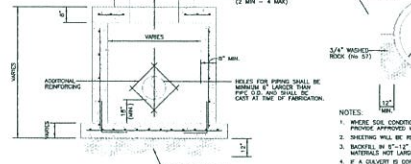
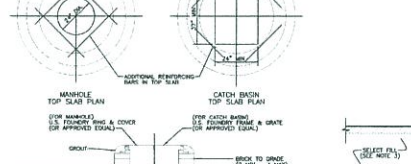
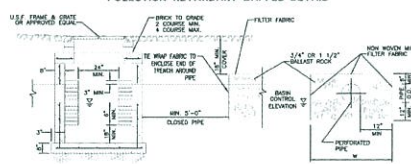
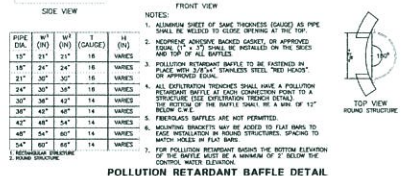
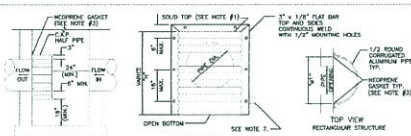
SHEET NUMBER:

PD02

CITY OF MIRAMAR

DEVELOPMENT REVIEW COMMITTEE

DATE: 08/11/2021



HOMAS
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CIVIL ENGINEER - PROJECT MANAGER - LANDSCAPE ARCHITECT
1305 W. UNIVERSITY BLVD.
SUITE 100, TAMPA, FL 33606
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POPEYE'S
MIRAMAR PARKWAY
& FLAMINGO ROAD
FOR
POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33237)
FLORIDA

HOMAS
ENGINEERING GROUP
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
P: (954) 202-7000
F: (954) 202-7070
www.HomasEngineering.com

MAXWELL T. KAPLAN
Professional Engineer
No. 62306
FLORIDA BOARD OF PROFESSIONAL ENGINEERS
11111 E. 15TH AVE., SUITE 100, MIAMI, FL 33165

CITY OF MIRAMAR
DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

PD03
PAVING, GRADING &
DRAINAGE DETAILS

**SOUTH BROWARD DRAINAGE DISTRICT
DESIGN CRITERIA MANUAL
STANDARD DETAIL SHEET**

UPDATED 3/26/2015

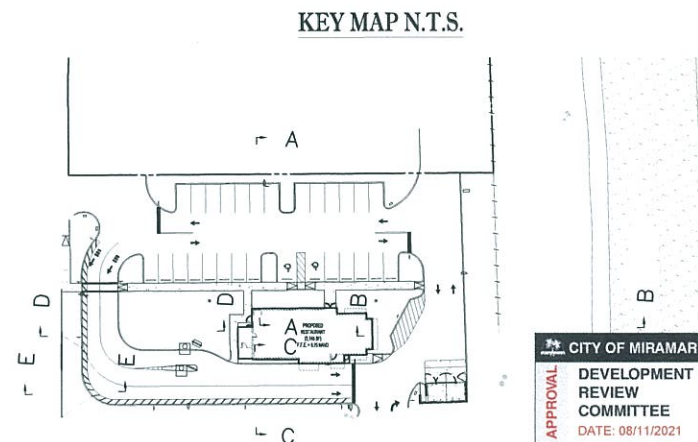
CITY OF MIRAMAR
DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

APPROVAL

EXHIBIT TITLE



- [illegible]



APPROVAL CITY OF MIRAMAR
**DEVELOPMENT
REVIEW
COMMITTEE**
DATE: 08/11/2021

HOMAS
ENGINEERING GROUP

THE ENGINEERS' PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

150 W. KENNEDY BLVD. 150 W. KENNEDY BLVD.
SUITE 100 SUITE 200
APT. #11 APT. #200
P.O. BOX 1000 P.O. BOX 2000
KANSAS CITY, MO 64101 KANSAS CITY, MO 64101

[illegible]

SITE PLAN SUBMITTAL

PROJECT No.:	F200088
DRAWN BY:	CAD
CHECKED BY:	MTK
DATE:	02/17/2021
CAD I.D.:	F200088 CROSS SECTION

PROJECT:

**POPEYE'S
MIRAMAR PARKWAY
& FLAMINGO ROAD**

— FOR —

POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA



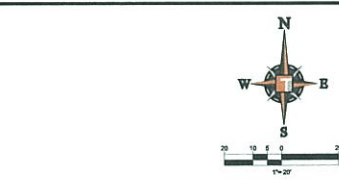
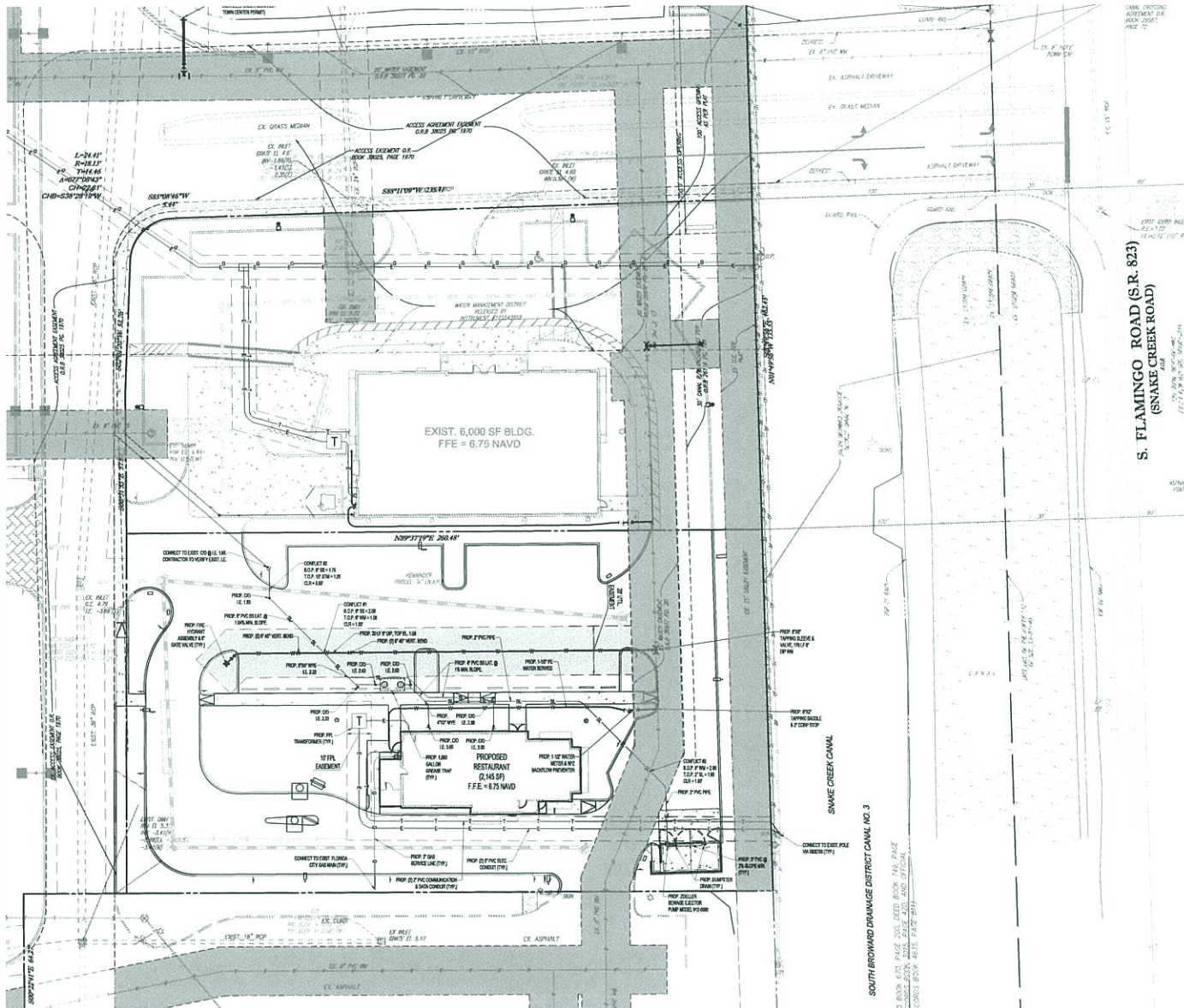
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FORT LAUDERDALE, FL 33309
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SHEET TITLE:

CROSS SECTIONS

SHEET NUMBER:
PD04



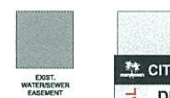
SITE LOCATION MAP

UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
UNDERGROUND WATER LINE	UNDERGROUND WATER LINE	UNDERGROUND WATER LINE
SANITARY SEWER MAIN	SANITARY SEWER MAIN	SANITARY SEWER MAIN
STORM SEWER	STORM SEWER	STORM SEWER
OVERHEAD WIRE	OVERHEAD WIRE	OVERHEAD WIRE
SANITARY LATERAL	SANITARY LATERAL	SANITARY LATERAL
HYDRANT	HYDRANT	HYDRANT
SANITARY MANHOLE	SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE	STORM MANHOLE
CATCH BASIN	CATCH BASIN	CATCH BASIN
WATER METER	WATER METER	WATER METER
DDCV	DDCV	DDCV
RPZ	RPZ	RPZ
CLEANOUT	CLEANOUT	CLEANOUT
FDC	FDC	FDC
EASEMENT TO BE VACATED	EASEMENT TO BE VACATED	EASEMENT TO BE VACATED
EXISTING WATER/SEWER EASEMENT	EXISTING WATER/SEWER EASEMENT	EXISTING WATER/SEWER EASEMENT
PROPOSED WATER/SEWER EASEMENT	PROPOSED WATER/SEWER EASEMENT	PROPOSED WATER/SEWER EASEMENT

- NOTES
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF MIRAMAR AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
 3. ALL HYDRANTS SHALL FALL WITHIN 4' OF THE CURB.
 4. MINIMUM 7' CLEARANCE AROUND THE HYDRANT CIRCUMFERENCE. THE 4' 1/2" CAP SHALL FACE THE ROADWAY.
 5. ALL FIRE HYDRANTS SHOULD HAVE BLUE REFLECTIVE MARKERS.
 6. WATER SHALL BE ON SITE BEFORE CONSTRUCTION BEGINS.
 7. CLEAN OUTS INSTALLED IN ASPHALT MUST BE INSTALLED IN A CITY BOX MARKED SEWER.

HATCH LEGEND



DATUM NOTE:
ALL ELEVATIONS SHOW HEREON ARE IN FEET
NORTH AMERICAN VERTICAL DATUM OF 1985
CONVERT TO NATIONAL GEODETIC VERTICAL

CITY OF MIRAMAR

DEVELOPMENT REVIEW COMMITTEE

DATE: 08/11/2021

THOMAS ENGINEERING GROUP

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8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
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REVISIONS

NO.	DATE	DESCRIPTION

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SITE PLAN SUBMITTAL

PROJECT: POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

FOR: POPEYE'S

13421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS ENGINEERING GROUP

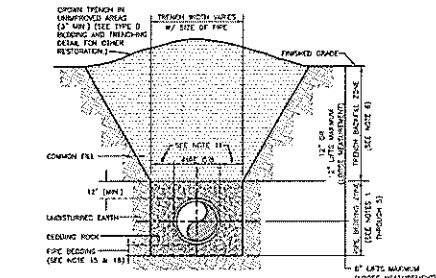
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F: (954) 202-7070
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MAXWELL KAPLAN

PROFESSIONAL ENGINEER
No. 63306

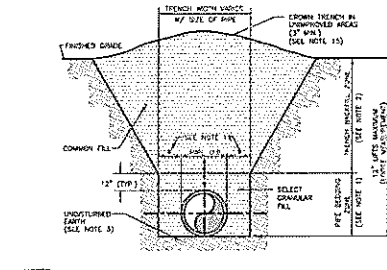
SHEET TITLE: UTILITY PLAN

SHEET NUMBER: WS01



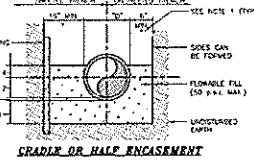
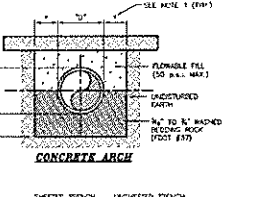
- NOTES:**
1. PIPE BEDDING: SELECT BEDDING ROCK EMBED IN PLACE.
 2. GRADE AND SHAPE PIPE BED TO EXACTLY SUPPORT PIPE AT THE PROPER LINE AND GRADE, WITH FULL CONTACT UNDER THE BOTTOM OF THE PIPE.
 3. INSTALL PIPE WITH SUTTER COMPONENTS.
 4. PLACE BEDDING IMMEDIATELY ON BOTH SIDES OF THE PIPE. COMPACT ANY PIPE DISPLACEMENTS BEFORE PROCEEDING.
 5. IN THE PIPE BEDDING ZONE, PLACE BEDDING IN LITS NOT GREATER THAN 12" THICKNESS AND COMPACT TO 95% OF MAXIMUM DENSITY PER AASHTO T-99 TO THE BOTTOM OF THE BEDDING OR THE TOP OF TRENCH OR UNBANKED AREA.
 6. IN THE TRENCH BACKFILL ZONE, PLACE COMMON FILL IN LITS NOT GREATER THAN 12" THICKNESS AND COMPACT TO 95% OF MAXIMUM DENSITY PER AASHTO T-99 TO THE BOTTOM OF THE BEDDING OR THE TOP OF TRENCH OR UNBANKED AREA.
 7. USE TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY OF MIRAMAR.
 8. IF REQUIRED IN THE CONTRACT DOCUMENTS OR IF APPROVED BY THE CITY OF MIRAMAR, A TOLERABLE MOUNT OF CONTROLLED LOW STRENGTH MATERIAL MAY BE USED IN LITS OF OTHER BEDDING MATERIAL TYPES.
 9. SECURE PIPE AGAINST DISPLACEMENT OR FLUTTERING BEFORE PLACING FLOWABLE MATERIAL OR CONCRETE ENCASUREMENT.
 10. CONCRETE ENCASUREMENT: INSTALL WHERE SHOWN IN THE PLANS.
 11. (a) 18" MAXIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MAXIMUM FOR PIPE DIAMETER 24" AND LARGER.
 12. (b) 18" MAXIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MAXIMUM FOR PIPE DIAMETER 24" AND LARGER.
 13. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED BY THE CITY.
 14. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 15. REFER TO SECTION 2.11-4 OF THE MANUAL FOR SHEETING AND BONDING IN ENCASUREMENT.
 16. GROUT SPACERS SHALL FOLLOW TYPE A BEDDING. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 12" AND 4" MAXIMUM FOR PIPE DIAMETER 12" AND LARGER.
 17. DEPTH FOR REMOVAL OF UNDESIRABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. CITY OF MIRAMAR SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNDESIRABLE MATERIAL TO REACH SUFFICIENT FLOWABLE.
 18. UNDESIRABLE MATERIAL INCLUDES ORGANIC MATERIAL, BEDROCK, LIMESTONE, FILL, DOWNSPOUT, ETC.

TYPE A BEDDING AND TRENCHING DETAIL

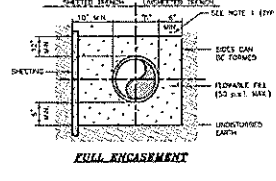


- NOTES:**
1. PIPE BEDDING: SELECT CONCRETE FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99 TO THE BOTTOM OF THE TRENCH.
 2. TRENCH BACKFILL: COMMON FILL IN 12" MAX LITS COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
 3. PIPE BEDDING: SELECT CONCRETE FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE "A" BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY OF MIRAMAR.
 4. GRADE AND SHAPE PIPE BED TO EXACTLY SUPPORT PIPE AT THE PROPER LINE AND GRADE, WITH FULL CONTACT UNDER THE BOTTOM OF THE PIPE.
 5. PLACE BEDDING IMMEDIATELY ON BOTH SIDES OF THE PIPE. CORRECT ANY PIPE DISPLACEMENTS BEFORE PROCEEDING.
 6. IN THE TRENCH BACKFILL ZONE, PLACE BEDDING IN LITS NOT GREATER THAN 12" THICKNESS AND COMPACT TO 95% OF MAXIMUM DENSITY PER AASHTO T-99 TO THE BOTTOM OF THE BEDDING OR THE TOP OF TRENCH OR UNBANKED AREA.
 7. IF REQUIRED IN THE CONTRACT DOCUMENTS OR IF APPROVED BY THE CITY OF MIRAMAR, FLOWABLE MATERIAL OR CONTROLLED LOW STRENGTH MATERIAL MAY BE USED IN LITS OF OTHER BEDDING MATERIAL TYPES.
 8. SECURE PIPE AGAINST DISPLACEMENT OR FLUTTERING BEFORE PLACING FLOWABLE MATERIAL OR CONCRETE ENCASUREMENT.
 9. CONCRETE ENCASUREMENT: INSTALL WHERE SHOWN IN THE PLANS.
 10. (a) 18" MAXIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MAXIMUM FOR PIPE DIAMETER 24" AND LARGER.
 11. (b) 18" MAXIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MAXIMUM FOR PIPE DIAMETER 24" AND LARGER.
 12. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED BY THE CITY.
 13. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 14. REFER TO SECTION 2.11-4 OF THE MANUAL FOR SHEETING AND BONDING IN ENCASUREMENT.
 15. GROUT SPACERS SHALL FOLLOW TYPE A BEDDING. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 12" AND 4" MAXIMUM FOR PIPE DIAMETER 12" AND LARGER.
 16. DEPTH FOR REMOVAL OF UNDESIRABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. CITY OF MIRAMAR SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNDESIRABLE MATERIAL TO REACH SUFFICIENT FLOWABLE.
 17. UNDESIRABLE MATERIAL INCLUDES ORGANIC MATERIAL, BEDROCK, LIMESTONE, FILL, DOWNSPOUT, ETC.

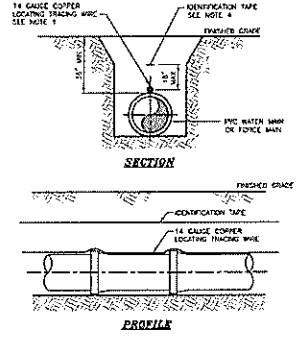
TYPE B BEDDING AND TRENCHING DETAIL



CONCRETE ARCH AND ENCASUREMENT DETAILS

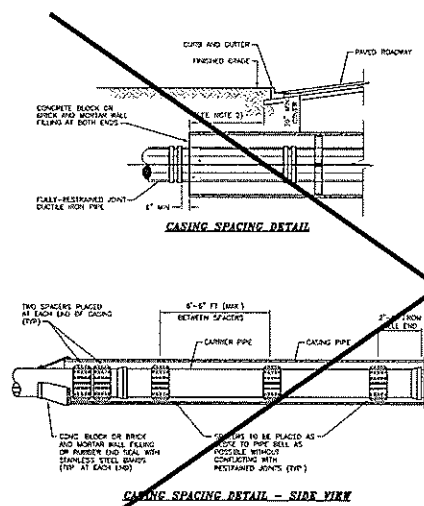


- NOTES:**
1. (1) 12" MAX FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX FOR PIPE DIAMETER 24" AND OVER.
 2. "D" REFERS TO THE DIAMETER OF THE PIPE.
 3. "T" REFERS TO THE THICKNESS OF THE PIPE.
 4. USE OF CONCRETE WITH HALF ENCLOSURE OR FULL ENCLOSURE TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY OF MIRAMAR.



- NOTES:**
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF EXTENDING BY A CABLE LOCATOR AND SHALL BE INSTALLED DIRECTLY ON TOP OF THE PIPE AT CENTERLINE.
 2. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 3. USE PLASTIC CLIPS AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.
 4. IDENTIFICATION TAPE SHALL BE INSTALLED DIRECTLY OVER CENTERLINE OF ALL PIPE AT 18-INCHES ABOVE THE TOP OF THE PIPE. SEE "ENGINEERING STANDARDS" SECTIONS 4.03-1, 4.03-2 AND 4.03-3 FOR FURTHER DETAILS.

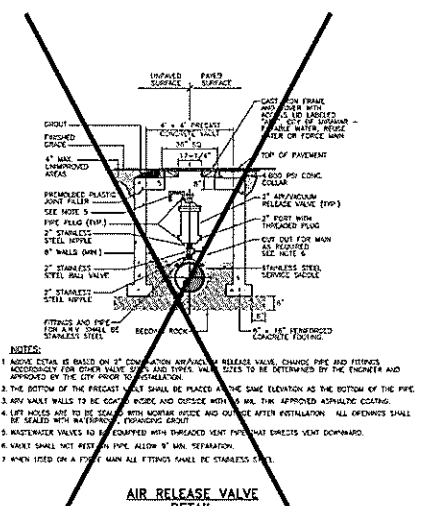
PVC PIPE LOCATING WIRE AND IDENTIFICATION TAPE DETAIL



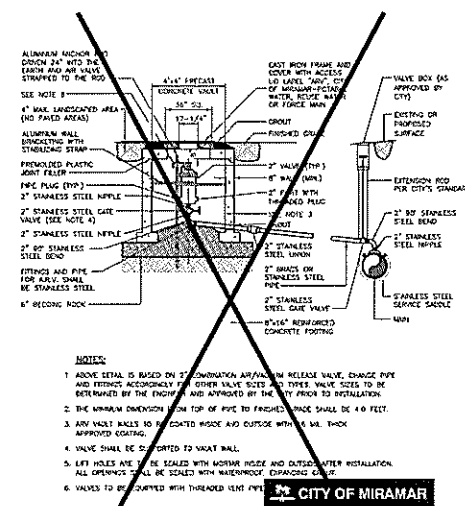
CASING SPACING DETAIL - END VIEW

- NOTES:**
1. THIS CONSTRUCTION IS WITHIN EIGHT JURISDICTION. ADDITIONAL REQUIREMENTS OF THE UTILITY JURISDICTION SHALL BE MET.
 2. CASING SHALL BE OF SUFFICIENT LENGTH TO EXTEND UNDER ALL PAVERS AND IN NO CASE SHALL THE END OF THE CASING BE CLOSER THAN EIGHT (8) FEET FROM THE PAVEMENT LOG. BELIEVING PAVED SPACERS PLUS ADDITIONAL LENGTH AS NECESSARY TO EXTEND TO THE EXCAVATED SLOPES OF THE JACKING AND RECEIVING LITS.
 3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF A 2:1 SLOPE (ANY STEEPER AND PM MUST BE SHEETED 100 THICK) EXCAVATION EIGHT (8) FEET FROM DIRT OF PAVEMENT.
 4. CASING SPACERS SHALL BE USED TO INSTALL CARRIER PIPE. HOSE THE ENCASUREMENT/CASING PIPE AND TO PROVIDE SUPPORT AROUND THE PERIPHERY OF THE PIPE. SHOULD THE PIPE TWIST AS IT IS PUSHED INTO THE CASING.
 5. THE MAXIMUM DISTANCE BETWEEN 6" X 6" FEET TO PREVENT SAGGING OF THE CARRIER PIPE. THE DOWN BEHIND SPACERS SHALL BE IN CONFORMITY WITH THE AASHTO T-99. THE MAXIMUM SPACING SHALL BE 100 PER SPACER SHALL EXCEED THE MAXIMUM LOAD FOR PIPE FULL OF LOADS PER SPACER LISTED IN THE LITERATURE. SPACERS SHALL HAVE MINIMUM HEIGHT THAT COVERS THE PIPE FULL OR AS OTHERWISE INDICATED ON THE SPACER. SPACER SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
 6. RESTRAINED JOINTS NOT SHOWN FOR THIS DETAIL.
 7. IF THE CASING SPACER MANUFACTURER'S RECOMMENDED CASING SPACING IS MORE STRINGENT THAN THE SPACING SHOWN ABOVE, THEN THE MANUFACTURER'S RECOMMENDED SPACING SHALL BE USED.
 8. THE ENDS OF THE CASING SHALL BE SEALED USING CONCRETE BLOCK OR BRICK AND MORTAR WALL FILLING OR MORTAR AND GROUT WITH STAINLESS STEEL BANDS OR 18" THICKNESS RUBBER AND STAINLESS STEEL BANDS OR DESIGN ENGINEER APPROVED EQUIVALENT.

BORING AND JACKING DETAIL



AIR RELEASE VALVE DETAIL



- NOTES:**
1. ABOVE DETAIL IS BASED ON 12" CONCRETE AIR RELEASE VALVE. CHARGE PIPE AND FITTINGS ACCORDING TO OTHER VALVE SIZES AND TYPES. VALVE SIZES TO BE DETERMINED BY THE ENGINEER AND APPROVED BY THE CITY PRIOR TO INSTALLATION.
 2. THE BOTTOM OF THE PRECAST VALVE SHALL BE PLACED AT THE SAME ELEVATION AS THE BOTTOM OF THE PIPE.
 3. AIR VALVE WALLS TO BE COATED INSIDE AND OUTSIDE WITH 1/2" THICK APPROVED ASPHALTIC COATING.
 4. LEFT HOLES ARE TO BE SEALED WITH MORTAR HOSE AND OUTSIDE AFTER INSTALLATION. ALL OPENINGS SHALL BE SEALED WITH MORTAR HOSE AND OUTSIDE AFTER INSTALLATION.
 5. WASTEWATER VALVES TO BE EQUIPPED WITH THREADED VENT PIPE THAT DRAINS VENT DOWNWARD.
 6. VALVE SHALL NOT REST ON PIPE. ALLOW 1" MIN. SEPARATION.
 7. WHEN USED ON A PUMP MAIN ALL FITTINGS SHALL BE STAINLESS STEEL.

CITY OF MIRAMAR
DEPARTMENT OF
CONSTRUCTION & FACILITIES MANAGEMENT
ENGINEERING STANDARDS
APPROVAL
DEVELOPMENT
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COMMITTEE
DATE 08/11/2021



10' MINIMUM

OTHER POE

POTABLE WATER MAIN OR WATER SERVICE LINE

PLAN
HORIZONTAL SEPARATION 10 FEET OR GREATER



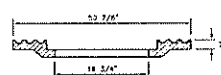
22 1/4"

1 1/2"

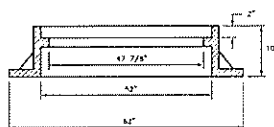
ACCESS LID WITH TAPERED PROOF BOLTS

LID - PART "A"

ftb - B48T *4*

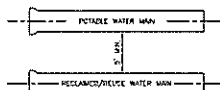


LID - PART "B"

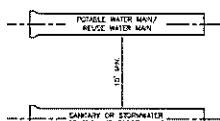


FRAME

- AIR RELEASE VAULT
ACCESS COVER



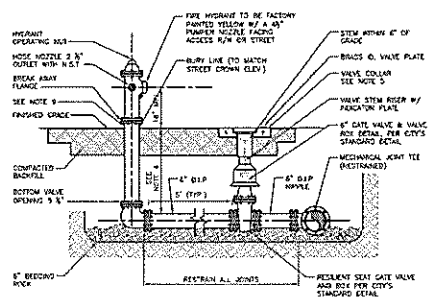
A MINIMUM 5' CLEAR HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN RECLAIMED/REUSE WATER MAINS AND POTABLE WATER MAINS.



A MINIMUM 10' CLEAR HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS/FEEDER WATER MAINS AND SANITARY OR STORMWATER SEWERS AND FORCE MAINS.

GATE VALVE AND VALVE BOX DETAIL

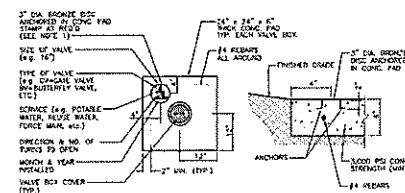
- NOTES:
1. VALVE COLLAR SHALL BE 24"x24"x6" (MIN) CONCRETE COLLAR PER CITY'S STANDARD DETAIL.
 2. WHEN WATER VALVE IS NOT LOCATED IN PAVEMENT, PLACE A WHITE PAVEMENT REFLECTOR MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE.
 3. VALVE BOX COVER SHALL BE PAINTED BLUE WITH THE DESIGNATION "WATER", GREEN WITH THE DESIGNATION "SEWER", PURPLE WITH THE DESIGNATION "GAS".



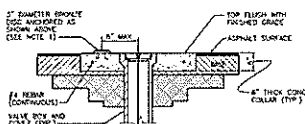
- NOTES:
1. PIPE SHALL BE DUCTILE IRON CLASS 250. MIN. SPOON ACCESS TO BE CLASS 350.
 2. ALL TEES AND FITTINGS SHALL BE RESTRAINED MECHANICALLY JOINT, MANHOLE TO BE DUCTILE IRON.
 3. IMPORTANT VALVES SHALL BE INSTALLED AS CLOSE TO WATER MAIN AS POSSIBLE.
 4. DEPTH OF COVER TO TOP OF UNDERGROUND PIPING 30" MINIMUM TYPICAL, 20" MINIMUM UNDER DRIVING SURFACES.
 5. ALL PIPING SHALL BE 15' MINIMUM DEPTH OF COVER TO TOP OF DRIVEWAY OR DRIVE.
 6. NO INVERTS SHOULD BE LOCATED CLOSER THAN 5' TO A 15" TO 24" CURB OR TO A VALLEY CULVERT.
 7. GUARD PIPES AROUND FIRE HYDRANTS ARE REQUIRED WHEN HYDRANTS ARE PLACED WITH IN A STREET.
 8. ALL HYDRANTS TO BE LOCATED IN OPEN AREAS, TURN BASINS, TURN OF HIGHWAYS.
 9. A FLUX REFLECTIVE PAINTMENT MARKER SHALL BE PROVIDED BY THE CENTER OF THE NEAREST LANE OF ROAD PLACED ADJACENT TO ALL FIRE HYDRANTS AND LOCAL VALVES.
 10. CLEARANCE BETWEEN BOTTOM OF BOLTS AND GROUND SHALL BE 6" MINIMUM.

<u>FLOW</u>	<u>COLOR OF BONNETS & CAPS</u>
1,500 GPM OR GREATER	BLUE
1,000 GPM OR GREATER	GREEN
500-1,000 GPM	ORANGE
LESS THAN 500 GPM	RED

FIRE HYDRANT
ASSEMBLY DETAIL



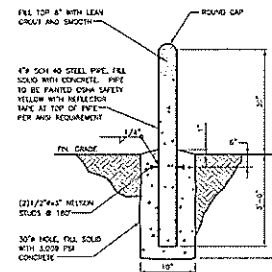
UNIMPROVED CONDITION



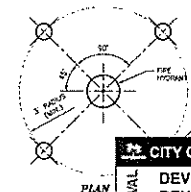
ALTERNATIVE FOR PAVED SURFACE

- NOTES:**
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES, AND SHALL INDICATE: SIZE OF VALVE, TYPE OF VALVE, SERVICE, DIRECTION AND NUMBER OF TURNS TO OPEN, AND DATE INSTALLED.

VALVE BOX CONCRETE
COLLAR DETAIL



SECTION

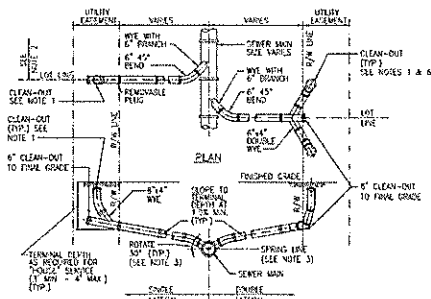


PLAN

GUARD P

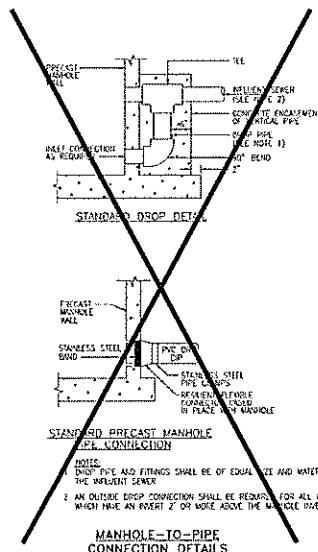
CITY OF MIRAMAR
DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

WS04

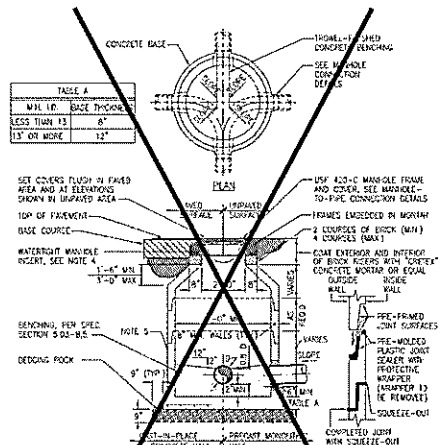


- NOTES:**
1. CLEAN-OUT SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 2. LOCATE SINGLE LATERAL AS CLOSE TO LEFT LINE AS POSSIBLE, 25' MINIMUM.
 3. POINT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPACING LINE.
 4. SERVICE LATERAL SHALL HAVE A MINIMUM 18\"/>

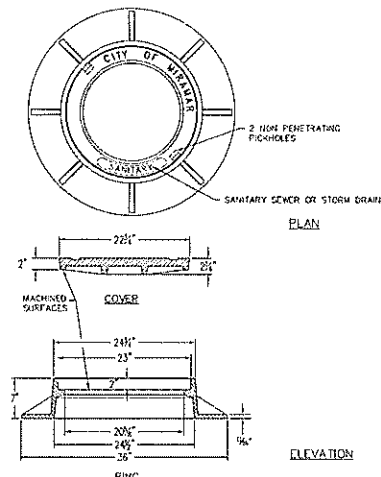
SANITARY SERVICE DETAIL



MANHOLE-TO-PIPE CONNECTION DETAILS



PRECAST MANHOLE DETAIL



SANITARY/STORM MANHOLE COVER

REQUIREMENTS FOR CCTV INSPECTION DATA

Please note: Prior to submitting TV inspection data to the Department of Utilities/Construction & Facilities Management Department, the following criteria for the data being submitted must be met.

1. Code system of the CCTV inspection data submitted must be in NASSCO's PACP (Pipe Assessment and Certification Program) format
2. Must be able to export the data in NASSCO PACP Version 6 Exchange Access Database with video and image files provided
3. Must use exact Manhole IDs as supplied by the City (e.g. MH017-031).
4. Pictures of defects are required to be taken and furnished to the city.
5. Contractor is to submit a reference binder as the final report containing the following:
 - Name of the company
 - Profile Report/ Main Section for each section videotaped
 - Inspection Report
 - In addition to other required NASSCO pipe conditions, it is required that upstream and downstream manhole rim to invert measurements are reported for every segment of pipe reported.
 - Inspection photos
 - DVDs with the company logo affixed to the DVDs containing video data in PACP format as mentioned above.

CITY OF MIRAMAR
DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

DATE	BY
1/1/2018	1/1/2018
2/1/2018	2/1/2018
3/1/2018	3/1/2018
4/1/2018	4/1/2018

POPEYE'S UTILITY DETAILS

CITY OF MIRAMAR
DEPARTMENT OF
CONSTRUCTION & FACILITIES MANAGEMENT
ENGINEERING STANDARDS



SCALE:
N.T.S.

WS05

WS06

LEGEND

FTP-2106 ADA PARKING
R1-1 STOP SIGN (30" x 30")
R3-SR RIGHT-TURN ONLY (24"x30")
R5-1 NO PARKING (30"x30")
W16-2 DOWNWARD LOADING ZONE (18"x24")
W16-7PR PEDESTRIAN SIGN (24"x24")
W16-7PL DOWNWARD LEFT ARROW (24"x12")
DY WHITE YELLOW
W WHITE
T THERMOPLASTIC

NOTES:

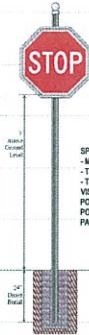
1. ALL SIGNAGE POLES SHALL BE DECORATIVE.
2. MONUMENT SIGNS MUST INCLUDE ADDRESS NUMERALS.

ENGINEERING NOTES:

1. ALL STRIPING & SIGNS TO MEET MUTCD & DCTED MINIMUM STANDARDS.
2. ALL MARKING TO DCTED MINIMUM STANDARDS.
3. ALL MARKING, EXCEPT PARKING SPACE STRIPING TO BE THERMOPLASTIC.
4. ALL SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS 7' ABOVE THE ADJACENT CURB.
5. ALL PAVEMENT MARKINGS SHALL BE INSTALLED WITH SLIP RESISTANT PAINT.



SITE LOCATION MAP



SPECIFICATIONS:
- MP-412 (8" OD X 12' FLUTED POLE)
- T382 (POLE TOPPER)
- T381 (SIGN MOUNTING BRACKETS)
- VISTA SERIES DECORATIVE SIGN
- POST COLOR: BRONZE
- POLE TO BE POWDER-COATED PAINT

1 DECORATIVE SIGN POST SPECIFICATIONS

SCALE: NONE

BUILDING

SIDEWALK

NO PARKING FIRE LANE 18"x24" SIGN (TYP.)

EDGE OF PAVEMENT

CURB TO BE PAINTED YELLOW

4" YELLOW LINE @ 4' - 5' O.C. (TYP.)

NOTES:

1. ALL PAVEMENT MARKING SHALL BE OF THERMOPLASTIC PAINT.

FIRE LANE STRIPING DETAIL

18"

4"

POST AS PER APPROVED SITE PLAN

NATURAL GROUND

CITY OF MIRAMAR

DEVELOPMENT REVIEW COMMITTEE

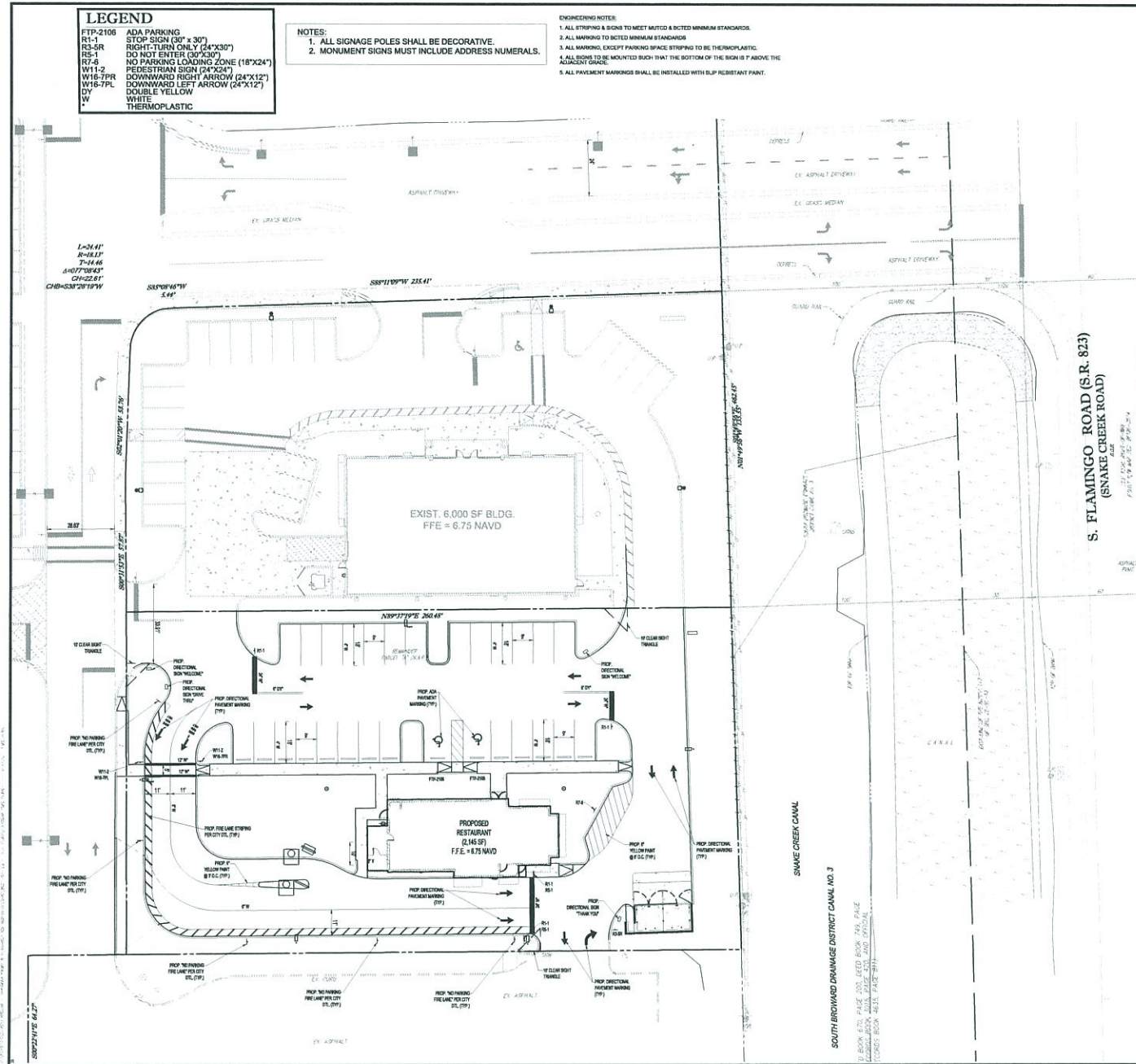
DATE: 08/11/2021

APPROVAL

NOTES:

1. "NO PARKING FIRE LANE BY ORDER SIGN AT MAX 75' O.C. SIGN TO BE 18" BACKGROUND.
2. SIGN TO BE POSTED 7' ABOVE FINISHED GRADE ON B.C.T.D. STANDARD POST.

FIRE LANE DETAIL



CITY ENGINEER - PROJECT MANAGER - LAND PLANNING - LANDSCAPE ARCHITECTS
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 382-7000
FX: (954) 382-7070
WWW.THOMASENGINEERINGGROUP.COM

REVISIONS:

REV	DATE	REVISION	BY

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SITE PLAN SUBMITTAL

PROJECT NO.	F2008A
DRAWN BY:	CAO
CHECKED BY:	MEK
DATE:	08/11/2021
CAO ID:	F2008A PMS01

PROJECT:
POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD
FOR
POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33307)
FLORIDA

8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 382-7000
FX: (954) 382-7070
WWW.THOMASENGINEERINGGROUP.COM

MAXWELL T. KAPLAN
No. 8326
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 12444
FLORIDA LANDSCAPE ARCHITECT NO. 2758

SHEET TITLE:
PAVEMENT MARKING & SIGNAGE PLAN

SHEET NUMBER:
PMS01

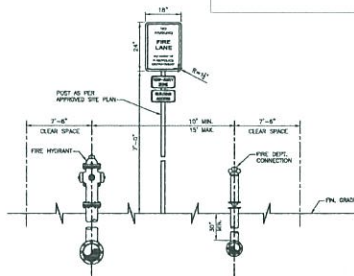
- NOTES:**
1. FIRE SHALL BE DUCTILE IRON CLASS 50. TOP SPOOL PIPES TO BE CLASS 250.
 2. ALL PIPES AND FITTINGS SHALL BE RESTRAINED MECHANICAL JOINT. MATERIAL TO BE DUCTILE IRON.
 3. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO WATER MAIN AS POSSIBLE.
 4. DEPTH OF COVER TO TOP OF UNDERGROUND PIPING 30" MINIMUM TYPICAL. 36" MINIMUM UNDER DRIVING SURFACES.
 5. VALVE COLLAR SHALL BE 24"x48" CONCRETE COLLAR W/ 1" DIA. (MIN) CEMENT PER CITY'S STANDARD DETAIL.
 6. NO HYDRANT SHALL BE LOCATED CLOSER THAN 5' TO A TYPE "D" CURB OR 7' TO A VALLEY CUTTER.
 7. CURB PIPES SHALL BE REQUIRED WHEN HYDRANTS ARE PLACED WITHIN 6' FEET OF ALL ROADWAYS, DRIVEWAYS, TURN ENDS, OR PARKING AREA.
 8. A BLUE REFLECTIVE PAVEMENT MARKER SHALL BE PROVIDED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT ADJACENT TO ALL FIRE HYDRANT LOCATIONS.
 9. CLEARANCE BETWEEN BOTTOM OF HOUSING AND GRADE SHALL BE 6" MINIMUM.

CONTRACTOR SHALL COLOR CODE THE TOP OF EACH HYDRANT INDICATED BY THE GALLONS PER MINUTE OF FLOW. THE BODY OF ALL FIRE HYDRANT SHALL BE PAINTED YELLOW (RUST-OLEUM #444 SAFETY YELLOW, O.A.E. WITH A 40 MI. DOT) AND THE TOP COLOR CODED AS FOLLOWS:

FLOW
1,500 GPM OR GREATER
1,000 GPM OR GREATER
500-1,000 GPM
LESS THAN 500 GPM

COLOR OF BONNETS & CAPS
GREEN
ORANGE
RED

FIRE HYDRANT ASSEMBLY DETAIL

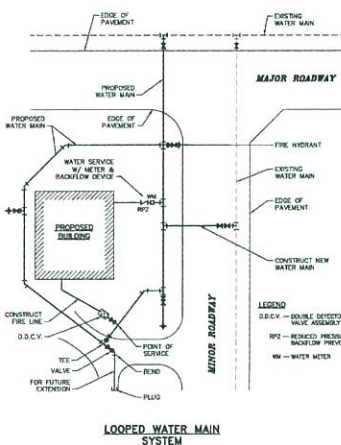


NOTE: FIRE HYDRANT AND FDC SHALL BE ON THE SAME PLANE

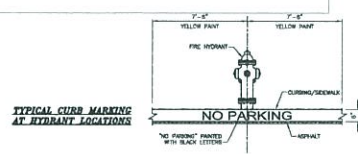
NOTES:

1. SPOUL SHALL HAVE A WHITE REFLECTORIZED BACKGROUND WITH RED ORANGE LETTERS AND BORDER.
2. TYPE "LANE" LETTERS SHALL BE 1" AND ALL OTHER LETTERS SHALL BE 1/2" SERIES "T".
3. SPOUL SHALL BE MOUNTED ON POST AT LOCATIONS SPECIFIED ON SITE PLAN AT A MINIMUM HEIGHT OF 7'-0" FROM THE FINISHED GRADE TO THE BOTTOM OF THE SIGN.
4. TYPE "LANE" SIGN AND SIGNING ADDRESS SIGN.
5. SPOUL SHALL BE A MINIMUM OF 8"x12" WHITE BACKGROUND WITH RED LETTERS MINIMUM LETTER SIZE 1/2" OR ONE INCH.

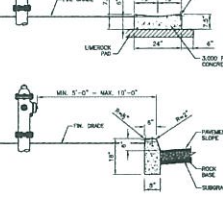
FIRE HYDRANT-FIRE DEPT. CONNECTION LOCATION DETAIL



LOOPED WATER MAIN SYSTEM



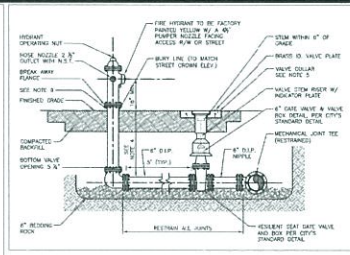
VALLEY CUTTER



TYPE "B" CURB



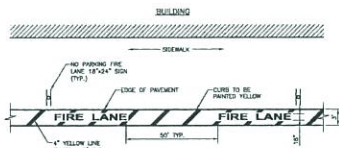
STANDARD FIRE HYDRANT PLACEMENT DETAIL



NOTES: THERE SHALL BE NO SHUT OFF VALVE IN THE FIRE DEPARTMENT CONNECTION.

1. DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.
2. DEPTH OF COVER TO TOP OF 6" UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

STANDARD FIRE DEPARTMENT CONNECTION DETAIL



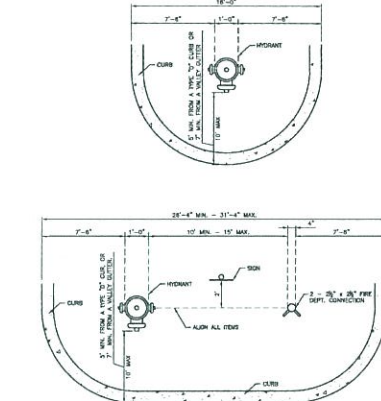
FIRE LANE STRIPING DETAIL

1. ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT.

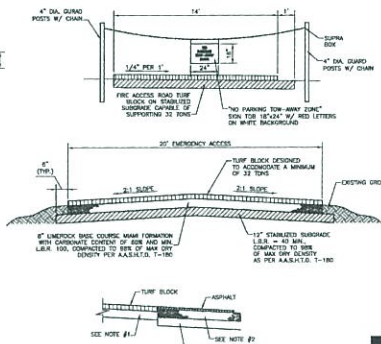
SIGN DETAIL

1. TWO PAVING FIRE LANE BY ORDER OF FIRE/POLICE DEPARTMENT.
2. THE BASE COURSE SHALL BE 18"x24" SIGN TO BE 18"x24" W/ RED LETTERS ON WHITE BACKGROUND.
3. SIGN TO BE POSTED 7' ABOVE FINISHED GRADE.

FIRE LANE DETAIL



TYP. FIRE HYDRANT/FIRE DEPT. CONNECTION ISLAND DETAIL (PLAN VIEW)



EMERGENCY ACCESS ROADWAY DETAIL

1. 12" STANDARD SURFACE MIN. LRI 45 COMPACTED TO MEET AASHTO T-180 CAPABLE OF SUPPORTING 21 TONS.
2. THE BASE COURSE SHALL BE 18"x24" SIGN TO BE 18"x24" W/ RED LETTERS ON WHITE BACKGROUND.
3. ALL ORGANIC AND YELLING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL THE SURFACE SHALL BE 18"x24" SIGN TO BE 18"x24" W/ RED LETTERS ON WHITE BACKGROUND.

THOMAS ENGINEERING GROUP
ENGINEERING GROUP
CITY ENGINEER PROJECT MANAGER LAND PLANNING LANDSCAPE ARCHITECTURE
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 282-7000
FAX: (954) 282-7070
WWW.THOMASENGINEERINGGROUP.COM

REV.	DATE	COMMENT	BY

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SITE PLAN SUBMITTAL

PROJECT NO.	F23000A
DESIGNED BY	CAZ
CHECKED BY	MTX
DATE	03/27/2021
CAD FILE	F23000A.PLT

POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

FOR POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33027)
FLORIDA

THOMAS ENGINEERING GROUP
8300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 282-7000
FAX: (954) 282-7070
WWW.THOMASENGINEERINGGROUP.COM

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PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 10000
FLORIDA BOARD OF PROFESSIONAL ENGINEERS
1000 N. UNIVERSITY AVENUE, SUITE 200
FORT LAUDERDALE, FL 33304

FIRE PROTECTION DETAILS

SHEET NUMBER:
FP03

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 08/11/2021

ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS, BUT NOT LIMITED TO EXTERIOR UTILITY BOXES, METERS, & TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED A MIN. OF 6' ABOVE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE

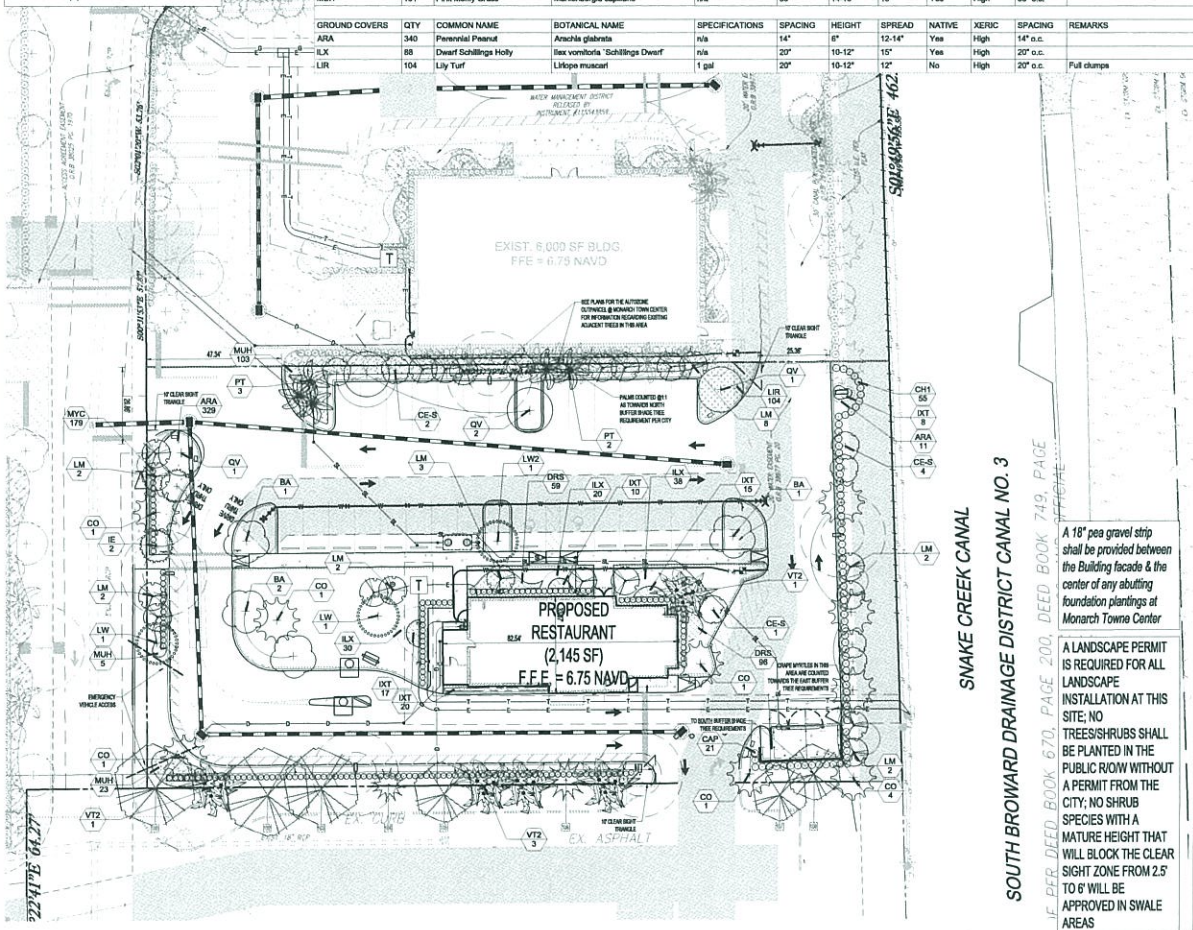
ALL PERVIOUS AREAS DISTURBED BY CONSTRUCTION & NOT SHOWN ON THE LANDSCAPE PLAN TO HAVE SHRUBS & GROUNDCOVERS SHALL BE SODDED BY THE CONTRACTOR

A MEETING WITH THE MIRAMAR LANDSCAPE INSPECTOR SHALL BE COORDINATED PRIOR TO THE COMMENCEMENT OF ANY PLANTING

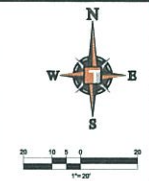
LIGHT POLES SHALL BE SET BACK FROM SHADE TREES WITH A MINIMUM OF 15' CLEARANCE. LIGHT POLES SHALL BE SET BACK FROM SMALL TREES & PALMS SHALL BE SETBACK WITH A MINIMUM OF 7.5' PER SEC. 901.8.2(h)

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
BA	4	Varwood	Bursera arborea	B & B	2.5" Cal	12' H	5-6'	No	High	6' CT	
CE-S	7	Silver Button Wood	Conocarpus erectus sericeus	45 gal	2" Cal	10' H	4-5'	Yes	High	4' CT: STANDARD	
CO	9	Sealeaf	Chrysophyllum olivaceum	B & B	2.5" Cal	12' H	5'	Yes	High	6' CT	
IE	2	Eaglehorn Holly	Ilex x attenuata 'Eaglehorn'	B & B	2" Cal	10' H	4'	Yes	High	5' CT: STANDARD	
LM	21	Lavender Crapemyrtle	Lagerstroemia x 'Muskogee'	NA	1.5" Cal	8' H	4'	No	High	4' CT: STANDARD	
LW	1	Wild Tamarind	Lythrum latifolium	B & B	2" Cal	12' H	5-6'	Yes	High	6' CT	
LW2	1	Wild Tamarind	Lythrum latifolium	B & B	4" Cal	16' H	7'	Yes	High	6' CT	
QV	4	Southern Live Oak	Quercus virginiana	B & B	2.5" Cal	12' H	5-6'	Yes	High	5' CT	
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
PT	5	Alexander Palm	Phycosperma elegans	NA	16' H	7-8' spr.	No	Medium	Medium	(B3-1: single trunk	
VT2	5	Montgomery Palm	Veitchia montgomeryana	B & B	18-20" db	10-12'	No	Medium	Medium	10', 12', 14' gtr. Triple trunk; (B3-1 for Ornamental Trees to West Buffer	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
CAP	21	Jamaica Caper	Capparis cynophallophora	NA	30"	24"-30"	15-24"	Yes	High	Fully to base	
CH1	55	Red Tip Coccoloba	Chrysobalanus icaco 'Red Tip'	NA	30"	36"	36"	Yes	High	Fully to base	
MYC	179	Compact Simpson's Stopper	Myrsine fraxinea 'compacta'	NA	As Shown	24"	24"	Yes	High	Fully to base	
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	SPACING	REMARKS
DRS	150	Sagebrush Showers	Duranta repens 'Sagebrush Showers'	-	18"	10'-12"	12"	Yes	High	18" o.c.	Full
DKT	75	Deer Red Irons	Ilex coccinea 'Petite Red'	n/a	18"	16"	14"	No	Medium	18" o.c.	Full
MUH	131	Pink Muhly Grass	Muhlenbergia capillaris	n/a	30"	14-18"	18"	Yes	High	30" o.c.	Full
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	SPACING	REMARKS
ARA	340	Pavement Pavers	Azorella glabra	n/a	14"	6"	12-14"	Yes	High	14" o.c.	Full
EX	88	Dwarf Scillings Holly	Ilex vomitoria 'Schilling's Dwarf'	n/a	18"	10'-12"	15"	Yes	High	20" o.c.	Full
LIR	104	Lily Turf	Lilium muscari	1 gal	20"	10'-12"	12"	No	High	20" o.c.	Full clumps



ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND MIN. 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE IS REQUIRED BY LAW & SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED



GENERAL	NAI-RESIDENTIAL LANDSCAPE DESIGN TABLE	CRITICAL ANALYSIS FROM 1/1/2014
CODE	REQUIREMENTS	CRITICAL ANALYSIS FROM 1/1/2014
1.0	1.0	1.0
2.0	2.0	2.0
3.0	3.0	3.0
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EXISTING TREE DISPOSITION TABLE	REQUIREMENTS	CRITICAL ANALYSIS FROM 1/1/2014
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ALL EXISTING INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & ERADICATED FROM THE ENTIRE SITE & ABUTTING RIGHT-OF-WAYS AS A REQUIREMENT OF CERTIFICATE OF OCCUPANCY

ALL SHADE TREES INSTALLED WITHIN 6 FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE ROOT BARRIER SYSTEM, AS APPROVED BY THE CITY; SEE DETAIL ON SHEET L02

CONTRACTOR TO ENSURE THAT ALL TREES SHALL BE PLACED A MINIMUM OF FOUR FEET FROM UNDERGROUND UTILITY LINES

ALL LANDSCAPE AREAS SHALL BE EXCAVATED TO A DEPTH OF 30" & BACK-FILLED WITH PLANTING SOIL PRIOR TO ANY PLANTING TO COMMENCE ON SITE. SOIL COMPOSITION SHOULD CONTAIN 2-4% ORGANIC MATTER WITH REMOVAL OF ANY LARGE ROCKS OR DEBRIS, LARGER THAN A LEMON

ALL SOD SHALL BE ST. AUGUSTINE FLORATAM UNLESS OTHERWISE NOTED; SOD FOR THE EAST PERIMETER BUFFER AREAS SHALL BE BAHIA 'ARGENTINE' SOD SOD

LANDSCAPE CONTRACTOR SHALL REMOVE ALL STAKES & TIES ON TREES AFTER PLANT ESTABLISHMENT OR AS DIRECTED BY THE PROJECT CERTIFIED ARBORIST

ALL PROPOSED LANDSCAPING WITHIN CLEAR SIGHT TRIANGLES, AS REQUIRED IN SECTION 804.8, SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BE

THE LANDSCAPE ARCHITECT SHALL CERTIFY THE LANDSCAPING V PLANS AND SPECIFICATIONS

NON-RESIDENTIAL AND PLANNED COMMUNITY RESIDENTIAL PROJECTS.

THOMAS ENGINEERING GROUP

3200 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 205-7900
FX: (954) 205-7070
www.thomaseengineeringgroup.com

CITY ENGINEER - PROJECT MANAGER - LANDSCAPE ARCHITECT

811 KNOW WHATS BELOW ALWAYS CALL 811 BEFORE YOU DIG

www.call811.com

SITE PLAN SUBMITTAL

PROJECT NO: P120000

DESIGNED BY: CAD

CHECKED BY: MTK

DRAWN BY: JLD

DATE: 08/11/2021

PROJECT: POPEYE'S MIRAMAR PARKWAY & FLAMINGO ROAD

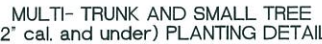
FOR: POPEYE'S

12421 MIRAMAR PARKWAY
CITY OF MIRAMAR (33507)
FLORIDA

RECORDED LANDSCAPE ARCHITECT
JAMES D. GROSSWORTH
FLORIDA LICENSE NO. 10001
EXPIRATION DATE: 12/31/2024

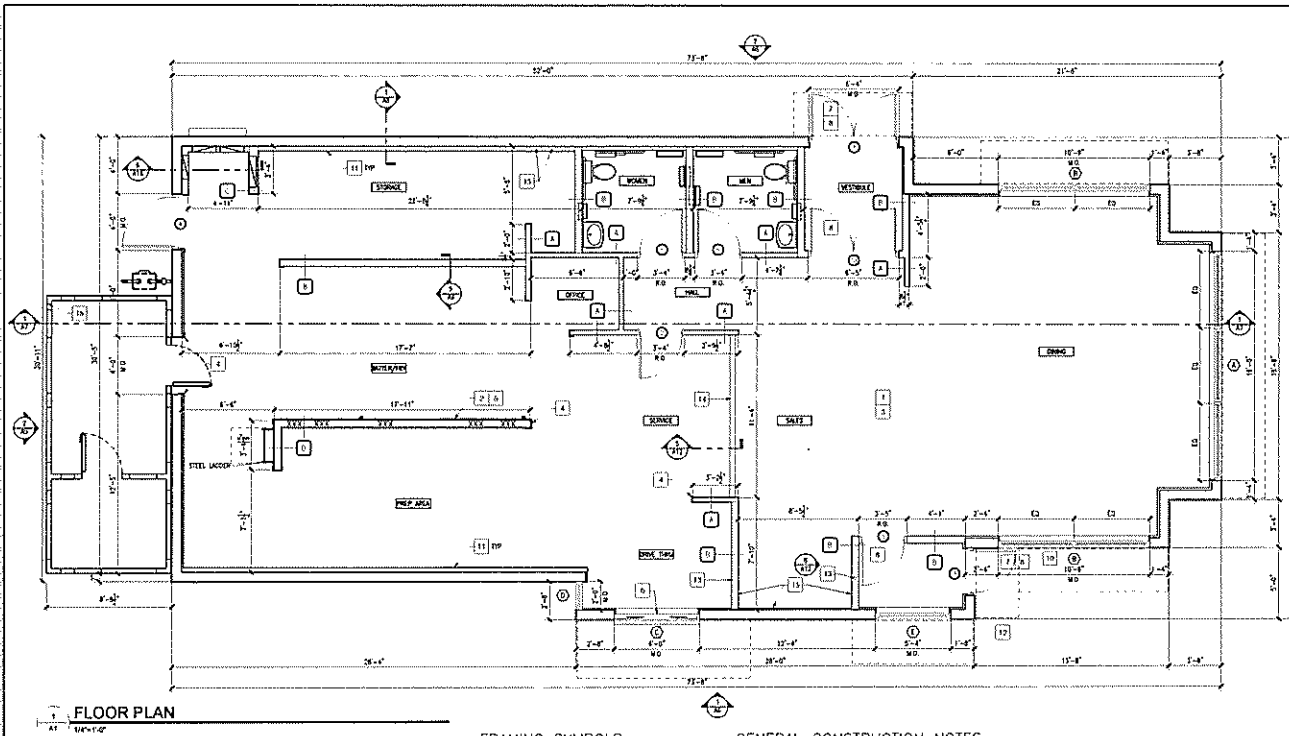
SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L-2.0



TYPICAL ROOT BARRIER APPLICATION DETAIL

L-2.1



SPECIFICATIONS DIVISION 9: FINISHES

SECTION 9.29.00
CYPRESS BOARD

PART 1 - GENERAL

1.1 SECTION INCLUDES

A. STANDARD CYPRESS BOARD

B. FIRE-RESISTANCE RATED CYPRESS BOARD

C. FIRE-RESISTANCE RATED - MOISTURE RESISTANT CYPRESS BOARD

PART 2 - SCOPE

1.1 SCOPE: FINISH AND INSTALL CYPRESS WALL BOARD AS A SUBSTITUTE FOR THE INTERIOR FINISH MATERIALS ON

INTERIOR WALLS AS SHOWN ON DRAWINGS. FINISH AND INSTALL CYPRESS WALL BOARD SUSPENDED CEILING WITH

HANGERS AND SUPPORTS.

1.2 MATERIALS: MATERIAL FINISHES ARE BASED ON A NATIONAL CYPRESS GRADE BOARD STA-SMOOTH LEVEL EDGE SYSTEM BY

U.S. CYPRESS.

WALLS (EXCEPT WHERE NOTED): 1/2" STA-SMOOTH CYPRESS WALL BOARD

WALLS WHERE NOTED: 1/2" THICK TAPERED EDGES MOISTURE RESISTANT (M/R) CYPRESS

WALL BOARD

DROPPED CEILING WHERE NOTED: 1/2" STA-SMOOTH CYPRESS WALL BOARD

FIRE RATED WHERE NOTED: 5/8" FIRE RATED CYPRESS WALL BOARD

5/8" FIRE RATED M/R CYPRESS WALL BOARD

2. FASTENERS:

A. CDS-54 1-5/8" LONG ANCHOR BOLT SHOWN, MEETING THE REQUIREMENTS OF ASTM C-350

B. 1-1/4" LONG TYPE-W DRILLING SCREWS TO WOOD STUDS

C. 1-1/4" LONG TYPE-S DRILLING SCREWS TO INTERIOR METAL STUDS

D. 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR CYPRESS SHEATHING TO METAL STUDS

E. JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED,

FEATHER EDGED. JOINTER BEADS SHALL BE GALVANIZED STEEL R-1000 90-DEGREE CHANNELS.

F. HANGERS AND SUPPORTS: 2x4 WOOD FRAMING SUBSTITUTION FOR STEEL TRUSS BUILDINGS 1-1/2" CHAIRING

CHANNELS, 3/4" TYPING CHANNELS, 6 GAUGE HANGER BOLTS, 16 GAUGE WIRE, AND 1" TYPE S SCREWS

PERFORMANCE

1. INSTALLATION

A. CUTTING WALLBOARD: CYPRESS WALLBOARD SHALL BE CUT BY SCORING AND BREAKING, OR BY SAWING, WORKING

FROM THE FACE SIDE. WHERE BOARD MEETS PROTRUDING SURFACES, IT SHALL BE SCORED NEATLY.

B. INSTALLING WALLBOARD: CYPRESS WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO FRAMING MEMBERS.

BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF JOINTS

OCCUR. WALLBOARD JOINTS AT EXTERIES SHALL BE LOCATED SO THAT NO JOINT SHALL ALIGN WITH EDGES

OF OPENINGS. JOINTS SHALL BE SUGGESTED.

C. FASTENING WALLBOARD: ATTACH WITH SCREWS OR NAILS SPACED APPROXIMATELY 8" O.C. THE NAILS SHALL BE

DRIVEN INTO THE HEAD SLIGHTLY BELOW THE SURFACE OF THE BOARD IN A CORNER FORMED BY THE

DRAWING TOOL.

D. FASTENING EXTERIOR CYPRESS SHEATHING: ATTACH TO METAL STUDS WITH SCREWS @ 12" O.C. WITH HEAD FLUSH

WITH SURFACE.

E. JOINTS FINISHING: JOINT COMPOUND, QUICK-TREAT, AND TAPPING COMPOUND SHALL BE APPLIED IN ACCORDANCE

WITH PRINTED INSTRUCTIONS CONTAINED IN THE PACKAGE. A SUBSEQUENT THIN LAYER OF JOINT COMPOUND SHALL

BE APPLIED OVER THE JOINT UNDER THE TAPE TO PROVIDE PROPER BOARD. CEILING AND WALL ANGLES AND

ROCK CORNER ANGLES SHALL BE PREPARED WITH THE TAPE FORCED TO CONFORM TO THE ANGLE AND

INTERSECTED IN THE COMPOUND.

WITH THE COMPOUND IS DRY, APPROXIMATELY TWENTY FOUR (24) HOURS FOR REGULAR COMPOUND.

2-1/2 HOURS FOR QUICK-TREAT. THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND OR TAPPING

COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF TAPE, AND FEATHERED OUT AT THE

EDGE. AFTER THOROUGHLY DRY, APPLY FINISHED COAT UNDER JOINTS. THIS COAT SHALL BE SMOOTH AND

THE EDGES FEATHERED APPROXIMATELY 3" BEYOND THE PRECEDING COAT. ALLOW EACH APPLICATION OF

COMPOUND TO DRY AND HAVE HEADS TO DRY THEN SAND IF NECESSARY. ALL WALLBOARD AND TREATED WEBS

SHALL BE SMOOTH AND READY FOR FINISHING OR WALLCOVERING.

GENERAL CONSTRUCTION NOTES

CYPRESS BOARD / EXTERIOR SHEATHING NOTES:

1. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR ORIENTED STRAND BOARD NAILLED IN ACCORDANCE WITH THE

STRUCTURAL BUILDING SPECIFICATIONS. REFER TO SHEETS S-4.

2. 1/2" ORIENTED STRAND BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL

JOINTS ARE TO BE PROPERLY SEALED.

3. CYPRESS BOARD SHALL BE TYPE "MOISTURE RESISTANT" IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.

4. ALL WALLS TO RECEIVE 1/2" MOISTURE RESISTANT CYPRESS WALL BOARD INSTALLED TO 18" AFF UNO.

EXTERIOR NOTES:

1. ALL EXTERIOR WALLS TO RECEIVE PREPARED BATT INSULATION TO MATCH BATT OF WALL CAVE.

EXTERIOR WALL NOTES:

1. PROVIDE 1/2" ORIENTED STRAND BOARD FROM 1'-4" AFF TO 9'-4" AFF IN ALL INTERIOR WALLS.

2. PROVIDE 1/2" DUCKOOR FROM 1'-4" AFF TO 9'-4" AFF AT EXTERIOR ROCKET ROOM WALLS.

CEILING NOTES:

1. PLASTIC LAMINATE TO ADHERE TO 1/2" ORIENTED STRAND BOARD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.

2. VENEER WALL COVERING ON 1/2" CYPRESS BOARD.

CEILING NOTES:

1. "CHALK" BLOCKS REQUIRED IN WALL FOR FINISHING LINES AND PESTROOM ACCESSORIES. BLOCKING SHALL

BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BEGINNING. CONTRACTOR IS

RESPONSIBLE FOR OBTAINING MANUFACTURER'S CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES

FINISHING EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.

FINISHING NOTES:

1. CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL AND SKINNY FRAMING: WHERE USED, METAL

FRAMING TO BE 25 GA. UNLESS NOTED OTHERWISE (F.N.S.)

2. REFER TO FINISHING NOTES FOR WALL SECTIONS.

3. ALL INTERIOR WOOD FINISHING TO BE 3/4" SPRUCE, FIR OR WHITE PINE.

4. ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESURE TREATED.

5. ALL INTERIOR WALLS TO BE FRAMED TO UNDERSEAL OF TRUSS UNO.

6. ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/

SEE STRUCTURAL DWGS FOR SHEAR WALL ANCHORS.

FRAMING SYMBOLS

- A 2X4 FRAMING @ 16" O.C.
- B 2X6 FRAMING @ 24" O.C.
- C 2X8 FRAMING @ 24" O.C.
- D 2X6 FRAMING @ 16" O.C. W/ 2 LAYERS TYPE X GIB

- 1 DOOR NUMBER SEE SHEET A-17 FOR DETAILS
- 2 WINDOW NUMBER SEE SHEET A-17 FOR DETAILS

- 3 DETAIL NUMBER SHEET NUMBER
- 4 DETAIL NUMBER SHEET NUMBER

- 5 DETAIL NUMBER SECTION DETAIL - WINDOW INDICATES DIRECTION OF VIEW

- 6 DETAIL NUMBER SECTION DETAIL - WINDOW INDICATES DIRECTION OF VIEW

- 7 DETAIL NUMBER SECTION DETAIL - WINDOW INDICATES DIRECTION OF VIEW

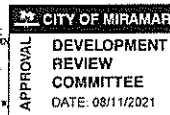
- 8 DETAIL NUMBER SECTION DETAIL - WINDOW INDICATES DIRECTION OF VIEW

GENERAL CONSTRUCTION NOTES

- 1 OVERLAPS ARE SHOWN
- 2 EXTERIOR WALLS FROM INTERIOR FACE OF CYPRESS BOARD TO THE EXTERIOR FACE OF PLYWOOD
- 3 INTERIOR WALLS FROM THE FACE OF FRESH WALL TO THE FACE OF FRESH WALL UNO
- 4 INSTALL 2'-0" W x 8'-0" H x 1/2" GA. STAINLESS STEEL PANEL BOARD CHANG AND FINISH 1/2" SHALL COVER 18" INSIDE EQUIPMENT REFER TO INTERIOR KITCHEN ELEVATIONS AND EQUIPMENT PLAN FOR EXACT LOCATION
- 5 ALL CYPRESS WALL BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR FINISHING OR WALLCOVERING AS INDICATED ON INTERIOR ELEVATIONS AND FINISH SCHEDULE. SEE GEN. CONSTR. NOTES FOR FINISH AREA
- 6 GENERAL CONTRACTOR (G.C.) TO PROVIDE 2'-0" FULL HEIGHT CORNER GUARDS ON ALL EXTERIOR CORNERS & KITCHEN WALLS
- 7 HOOK WALL TO BE CONSTRUCTED WITH 3'-5/8" 16 GAUGE (24) METAL STUDS AT 24" O.C. INSTALL 5/8" MOISTURE RESISTANT TYPE X CYPRESS WALL BOARD ON BOTH WALL SIDES FROM FINISHED FLOOR TO 18" AFF, AND 5/8" TYPE X CYPRESS FROM 18" AFF TO BEYOND CEILING
- 8 ELECTRIC DRIVE-TYPE WINDOW TO BE INSTALLED AT THE LOCATION SHOWN. VERIFY REQUIRED ROOM-IN AND ELECTRICAL REQUIREMENTS WITH MANUFACTURER BEFORE PROCEEDING
- 9 THE ARCHITECT AND ENGINEERS OF RECORD SHALL VERIFY ALL ACCESSIBLE APPROACHES AND ENTRANCES TO VERIFY THAT THEY COMPLY WITH ALL APPLICABLE CODES. SEE 12 TO VERIFY THAT ALL EXISTING AND OVERSIGHTS DATA ARE CORRECTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS VARY THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.
- 10 ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE INSIDE SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT, AND COMPLY WITH ALL CODES. MANUALLY OPERATED FLOOR BOLTS OR SURFACE BOLTS SHALL NOT BE USED
- 11 PROVIDE A STAINLESS STEEL TRIM ENCLOSURE AT WATER-TO-ADJUSTING THE BUILDING AT THE REAR OPENING OF THE KITCHEN
- 12 ALL GLAZING WITHIN A 24" ARC OF DOORS WHOSE BOTTOM IS LESS THAN 10" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY TEMPERED GLASS
- 13 PROVIDE 1/2" MOISTURE RESISTANT CYPRESS WALL BOARD ON ALL INTERIOR KITCHEN WALL SURFACES FROM FINISHED FLOOR TO 18" AFF. FINISHED FLOOR AND PROVIDE 1/2" ORIENTED STRAND BOARD FROM 18" AFF TO BEYOND CEILING ON ALL INTERIOR WALLS
- 14 INSTALL CYPRESS WALL BOARD ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 2/A6
- 15 SEE P-1 SHEET FOR SOGA LINE CHANGES. VERIFY LOCATIONS WITH REVENUE PROSECUTOR
- 16 INSTALL THE HALF WALL FOR THE FRONT CHARTER AFTER THE KITCHEN EQUIPMENT HAS BEEN BROUGHT IN. PROVIDE 1/2" CYPRESS WALL BOARD ON THE SIDE FACING THE DINING PROVIDE 1/2" ORIENTED STRAND BOARD WITH FRP ON THE SIDE FACING THE KITCHEN
- 17 INSTALL PORTIES CAR SINKS ON WALL SURFACE FROM TOP OF COUNTER TO BEYOND CEILING ON ALL WALLS ACROSS THE SELF-SERVE DRINK STATION (EXCEPT WITH THE HEALTH DEPARTMENT IF THIS SURFACE IS ALLOWED)
- 18 PROVIDE MAXIMUM 4" CONCRETE SLAB WITH VME 600-30 1/2" X 1/2" X 4' FOR THE INSTALLATION OF THE EXTERIOR COUNTER/STATION. PROVIDE SUBSTRATE AS SPECIFIED BY THE STRUCTURAL DRAWINGS

GENERAL CONSTRUCTION NOTES

- 1 EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR ORIENTED STRAND BOARD NAILLED IN ACCORDANCE WITH THE STRUCTURAL BUILDING SPECIFICATIONS. REFER TO SHEETS S-4.
- 2 1/2" ORIENTED STRAND BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL JOINTS ARE TO BE PROPERLY SEALED.
- 3 CYPRESS BOARD SHALL BE TYPE "MOISTURE RESISTANT" IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.
- 4 ALL WALLS TO RECEIVE 1/2" MOISTURE RESISTANT CYPRESS WALL BOARD INSTALLED TO 18" AFF UNO.
- EXTERIOR NOTES:
- 1 ALL EXTERIOR WALLS TO RECEIVE PREPARED BATT INSULATION TO MATCH BATT OF WALL CAVE.
- EXTERIOR WALL NOTES:
- 1 PROVIDE 1/2" ORIENTED STRAND BOARD FROM 1'-4" AFF TO 9'-4" AFF IN ALL INTERIOR WALLS.
- 2 PROVIDE 1/2" DUCKOOR FROM 1'-4" AFF TO 9'-4" AFF AT EXTERIOR ROCKET ROOM WALLS.
- CEILING NOTES:
- 1 PLASTIC LAMINATE TO ADHERE TO 1/2" ORIENTED STRAND BOARD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.
- 2 VENEER WALL COVERING ON 1/2" CYPRESS BOARD.
- CEILING NOTES:
- 1 "CHALK" BLOCKS REQUIRED IN WALL FOR FINISHING LINES AND PESTROOM ACCESSORIES. BLOCKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2 CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BEGINNING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURER'S CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES FINISHING EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.
- FINISHING NOTES:
- 1 CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL AND SKINNY FRAMING: WHERE USED, METAL FRAMING TO BE 25 GA. UNLESS NOTED OTHERWISE (F.N.S.)
- 2 REFER TO FINISHING NOTES FOR WALL SECTIONS.
- 3 ALL INTERIOR WOOD FINISHING TO BE 3/4" SPRUCE, FIR OR WHITE PINE.
- 4 ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESURE TREATED.
- 5 ALL INTERIOR WALLS TO BE FRAMED TO UNDERSEAL OF TRUSS UNO.
- 6 ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ SEE STRUCTURAL DWGS FOR SHEAR WALL ANCHORS.



ARCHITECTURE
ENGINEERING

LIS

1101 N. 1st Ave. Suite 100
Miramar, FL 33185
Phone: (305) 441-1111
Fax: (305) 441-1112

DESIGN REVIEW COMMITTEE SUBMITTAL - 040821

PROJECT NAME: POPEYES
NOLA 1845 - METRO
MIRAMAR PARKWAY AT FLAMINGO ROAD
MIRAMAR, FL

DESIGNER: METRO CHICKEN OF MIRAMAR, LLC
MIRAMAR, FL

DATE: 08/11/2021

PROJECT NO: 2020-193

SCALE: 1/4" = 1'-0"

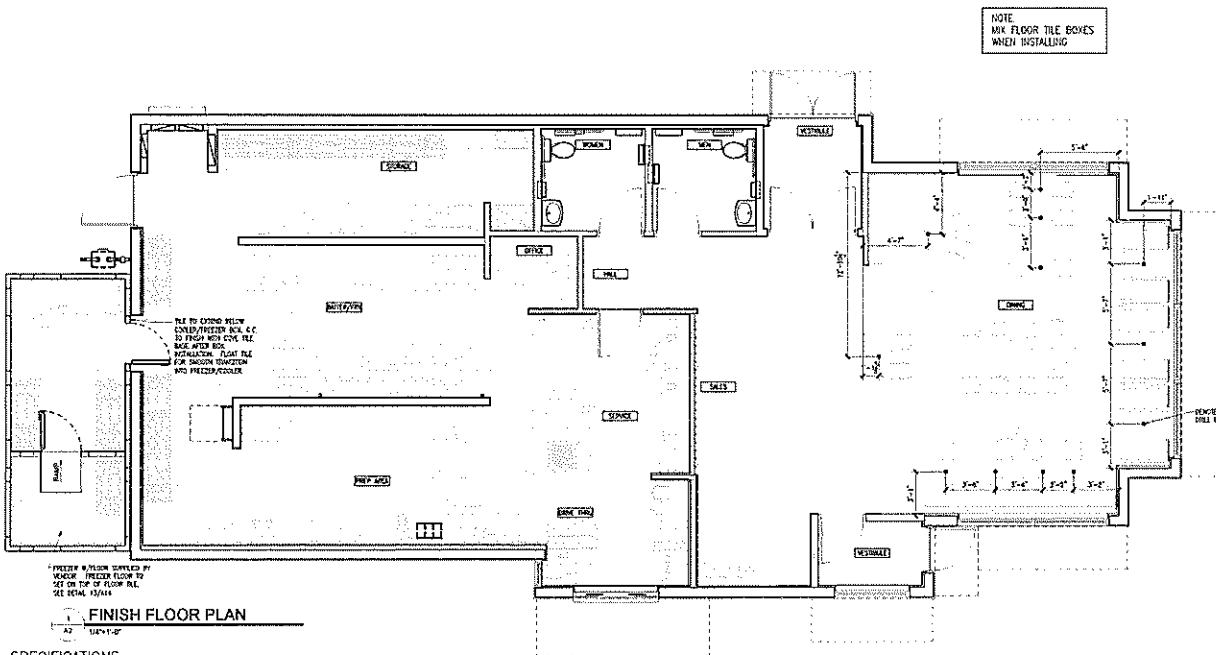
DATE: 08/11/2021

DESIGNED BY: CM

CHECKED BY: CM

DATE: 08/11/2021

SHEET NO: A1



SPECIFICATIONS DIVISION 9: FINISHES

SECTION 9.1.1.1

- GENERAL PROVISIONS
1. SCOPE: FINISHES AND MATERIALS FOR THE KITCHEN AND BREAK ROOM.
 2. QUALITY CONTROL: ALL THE MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE RECOMMENDED PRACTICES OF THE MANUFACTURER.
 3. PAY TO THE PROPER VENDOR SPECIFICATIONS FOR APPROVED SUPPLIES.

DETAILS

1. USE CERAMIC AND QUARTZ TILE AS SHOWN ON FLOOR SCHEDULE.
2. GROUT.
3. JOINTS IN FLOOR AND BASE: FINISH IS REQUIRED - INTERLOCK 1/2" JOINTS OR APPROVED ALTERNATE INTERLOCK GROUT FILLER AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
4. JOINTS IN WALL: INTERLOCK TILE-WHITE GROUT FILLER, 1/2" JOINTS, 1/2" GROUT AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
5. CONCRETE TILE: INTERLOCK BOND.
6. BUCKLE: INTERLOCK BUCKLE BOND BY USE OF INTERLOCK, INC., 101 S. 10th AVE., CHICAGO, IL 60605.

PERFORMANCE

1. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. JOINTS IN FLOOR AND BASE: FINISH IS REQUIRED - INTERLOCK 1/2" JOINTS OR APPROVED ALTERNATE INTERLOCK GROUT FILLER AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
4. JOINTS IN WALL: INTERLOCK TILE-WHITE GROUT FILLER, 1/2" JOINTS, 1/2" GROUT AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
5. CONCRETE TILE: INTERLOCK BOND.
6. BUCKLE: INTERLOCK BUCKLE BOND BY USE OF INTERLOCK, INC., 101 S. 10th AVE., CHICAGO, IL 60605.

SECTION 9.1.1.2

- GENERAL PROVISIONS
1. SCOPE: SUPPLY AND INSTALL MATERIALS AND EQUIPMENT NECESSARY FOR THE PROPER FINISHES AND FINISHING OF THE BUILDING.

DETAILS

1. PAINT: INTERLOCK AND CERAMIC TILE: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. JOINTS IN FLOOR AND BASE: FINISH IS REQUIRED - INTERLOCK 1/2" JOINTS OR APPROVED ALTERNATE INTERLOCK GROUT FILLER AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.

SECTION 9.1.1.3

- GENERAL PROVISIONS
1. SCOPE: FINISHES AND MATERIALS FOR THE KITCHEN AND BREAK ROOM.
 2. QUALITY CONTROL: ALL THE MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE RECOMMENDED PRACTICES OF THE MANUFACTURER.
 3. PAY TO THE PROPER VENDOR SPECIFICATIONS FOR APPROVED SUPPLIES.

PERFORMANCE

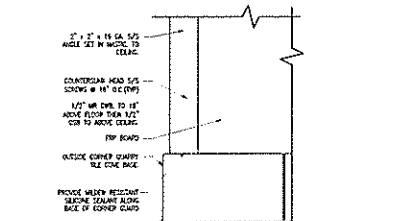
1. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. JOINTS IN FLOOR AND BASE: FINISH IS REQUIRED - INTERLOCK 1/2" JOINTS OR APPROVED ALTERNATE INTERLOCK GROUT FILLER AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
4. JOINTS IN WALL: INTERLOCK TILE-WHITE GROUT FILLER, 1/2" JOINTS, 1/2" GROUT AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.
5. CONCRETE TILE: INTERLOCK BOND.
6. BUCKLE: INTERLOCK BUCKLE BOND BY USE OF INTERLOCK, INC., 101 S. 10th AVE., CHICAGO, IL 60605.

SECTION 9.1.1.4

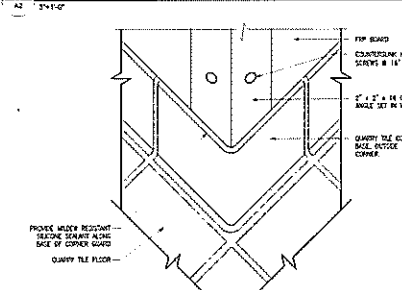
- GENERAL PROVISIONS
1. SCOPE: SUPPLY AND INSTALL MATERIALS AND EQUIPMENT NECESSARY FOR THE PROPER FINISHES AND FINISHING OF THE BUILDING.

DETAILS

1. PAINT: INTERLOCK AND CERAMIC TILE: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. INTERLOCK: INTERLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. JOINTS IN FLOOR AND BASE: FINISH IS REQUIRED - INTERLOCK 1/2" JOINTS OR APPROVED ALTERNATE INTERLOCK GROUT FILLER AS MANUFACTURED BY THE UNITS COMPANY OR EQUAL.



KITCHEN CORNER GUARD ELEVATION DETAIL



KITCHEN CORNER GUARD ISOMETRIC DETAIL

MATERIAL SCHEDULE - KITCHEN				MATERIAL SCHEDULE - BREAK ROOM			
COMPLETE MATERIAL LIST				COMPLETE MATERIAL LIST			
ITEM	DESCRIPTION	QUANTITY	UNIT	ITEM	DESCRIPTION	QUANTITY	UNIT
1.0	1/2\"/>	100	SQ. FT.	1.0	1/2\"/>	100	SQ. FT.
2.0	1/2\"/>	100	SQ. FT.	2.0	1/2\"/>	100	SQ. FT.
3.0	1/2\"/>	100	SQ. FT.	3.0	1/2\"/>	100	SQ. FT.
4.0	1/2\"/>	100	SQ. FT.	4.0	1/2\"/>	100	SQ. FT.
5.0	1/2\"/>	100	SQ. FT.	5.0	1/2\"/>	100	SQ. FT.
6.0	1/2\"/>	100	SQ. FT.	6.0	1/2\"/>	100	SQ. FT.
7.0	1/2\"/>	100	SQ. FT.	7.0	1/2\"/>	100	SQ. FT.
8.0	1/2\"/>	100	SQ. FT.	8.0	1/2\"/>	100	SQ. FT.
9.0	1/2\"/>	100	SQ. FT.	9.0	1/2\"/>	100	SQ. FT.
10.0	1/2\"/>	100	SQ. FT.	10.0	1/2\"/>	100	SQ. FT.

FINISH FLOOR PLAN

FINISH FLOOR PLAN

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FINISH FLOOR PLAN

ARCHITECTURE
ENGINEERING

LIS

LANDSCAPE ARCHITECTURE

2010 NW 10th Ave. Suite 101
Miami, FL 33136
Phone: (305) 555-1111
Fax: (305) 555-1111

CLIENT NAME: METRO CHICKEN OF MIAMI, LLC

PROJECT NAME: MIAMI CHICKEN AT MIAMI BEACH

PROJECT NO: 2020-193

DATE: 08/11/2021

DESIGN REVIEW COMMITTEE SUBMITTAL - 040821

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APPROVAL: POPEYES

DATE: 08/11/2021

FINISH FLOOR PLAN

2020-193

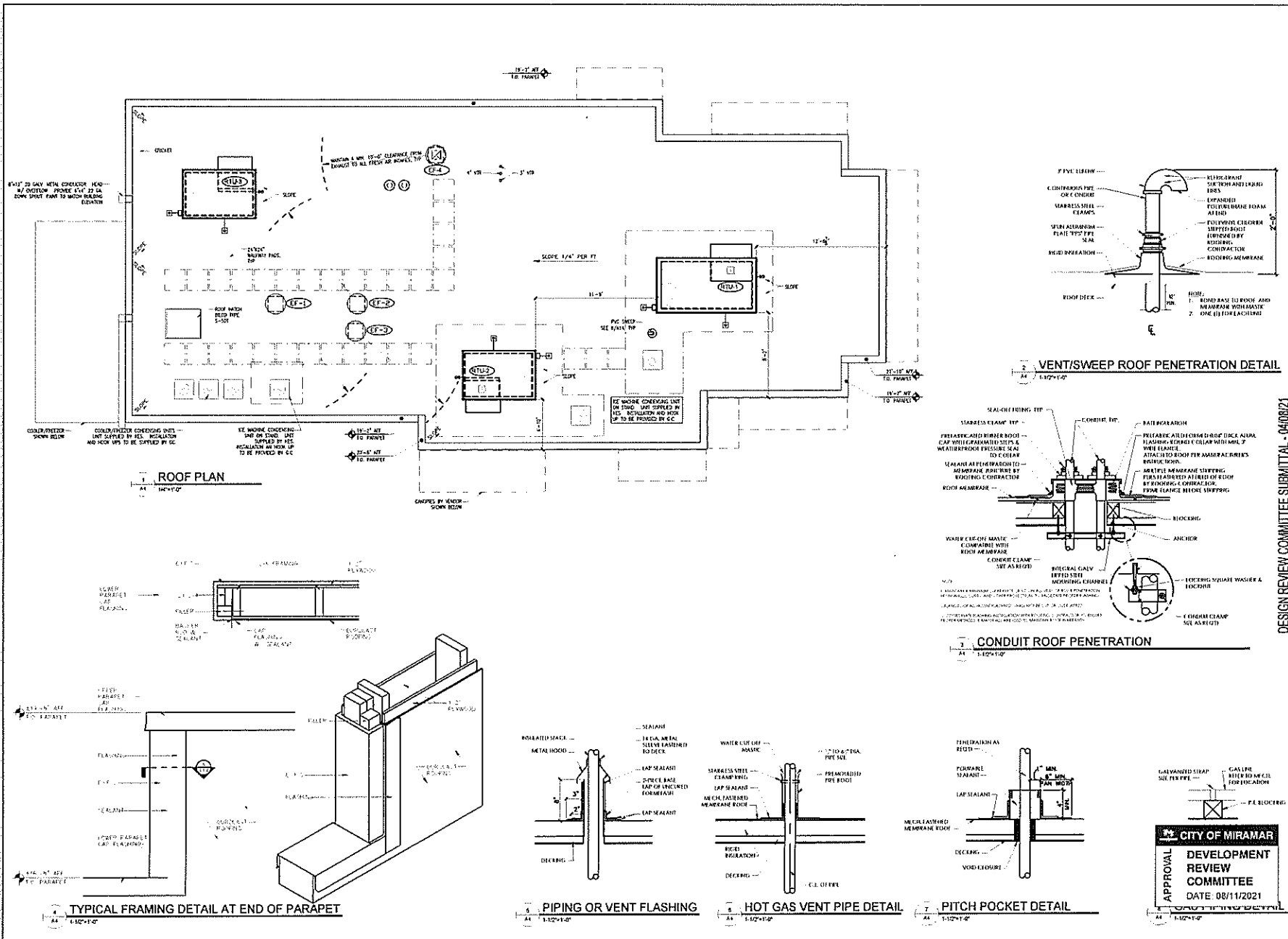
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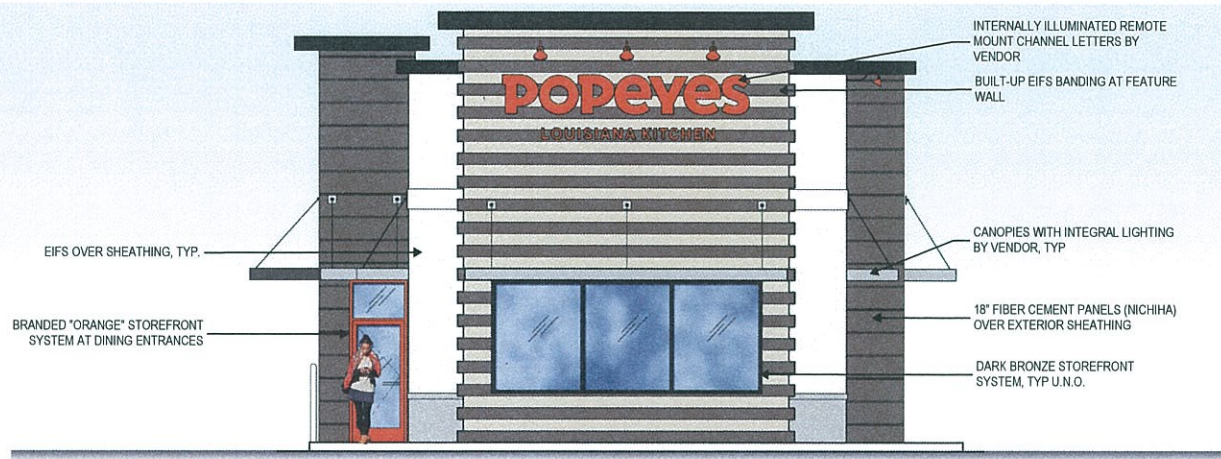
APPROVAL: CITY OF MIAMI

DEVELOPMENT REVIEW COMMITTEE

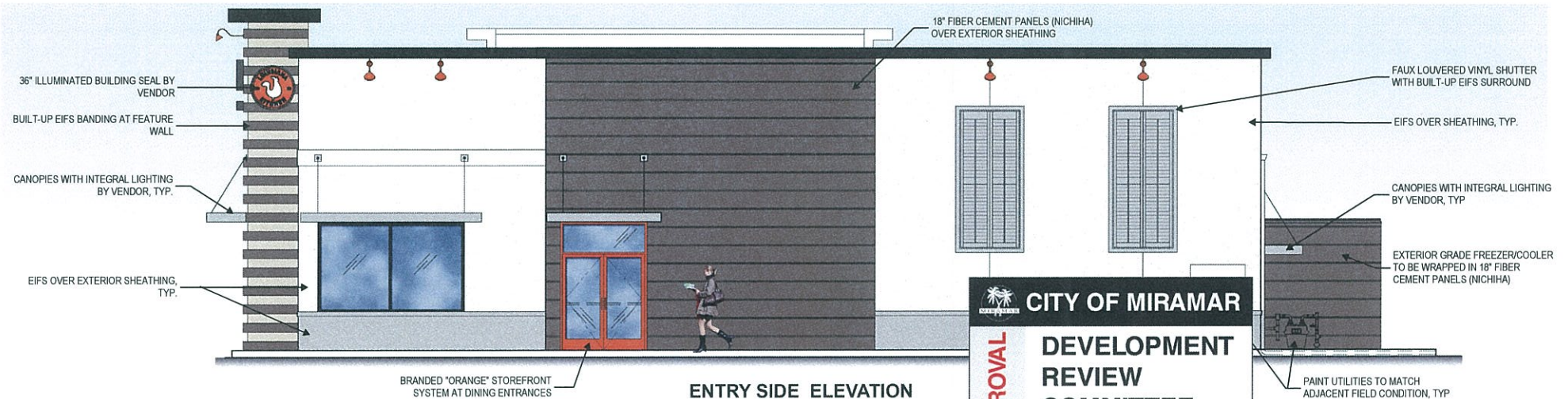
DATE: 08/11/2021

A2





FRONT ELEVATION



ENTRY SIDE ELEVATION

BM 872
White Christmas

BM 1547
Dragons Breath

BM 1000
Northwood Brown

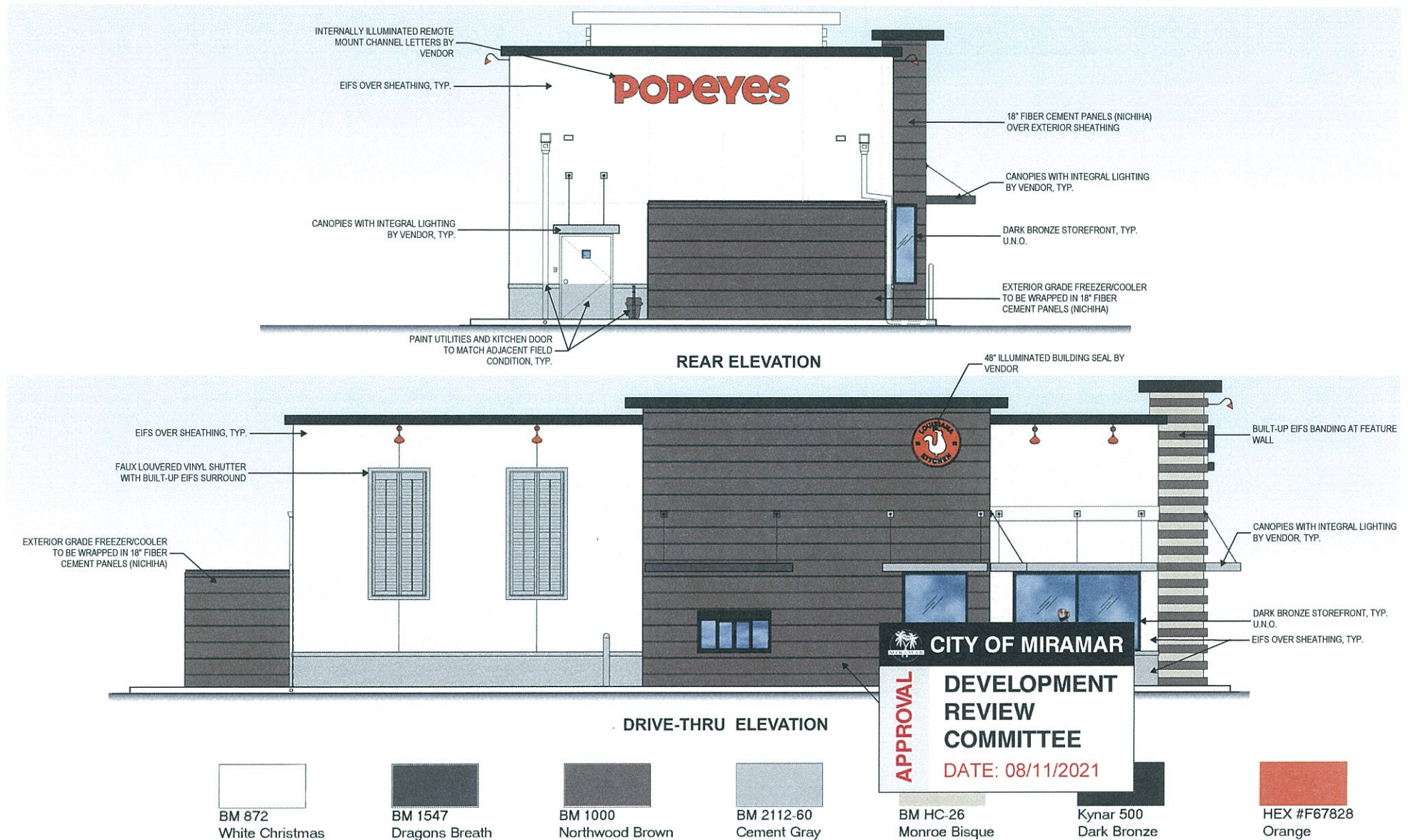
BM 2112-60
Cement Gray

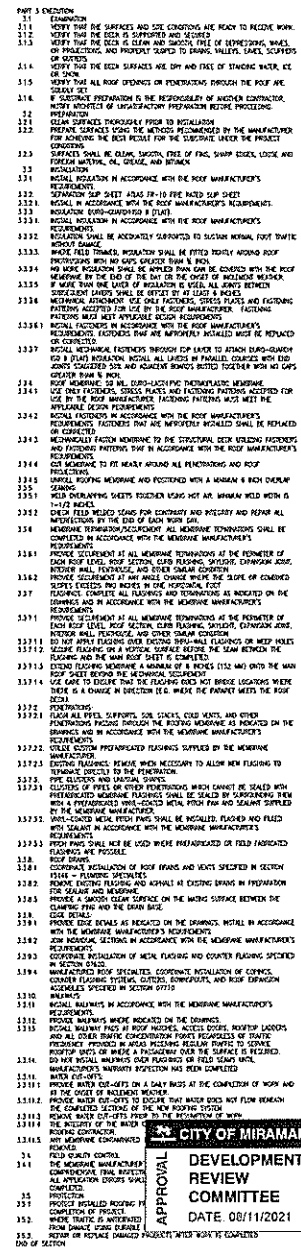
BM HC-26
Monroe Bisque

Kynar 500
Dark Bronze

HEX #F67828
Orange







SECTION 7 THERMAL AND MOISTURE PROTECTION

GENERAL PRINCIPLES

PENETRATIONS

- [illegible]

PART 1: GENERAL.

- FOUO: This document contains information that is exempt from public release under the Freedom of Information Act, 5 U.S.C. 552.

- 1341 C101, PLOT 100, BROWN CLAY (C200)
- 1342 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1343 C102, PLOT 100, BROWN CLAY (C200)
- 1344 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1345 C103, PLOT 100, BROWN CLAY (C200)
- 1346 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1347 C104, PLOT 100, BROWN CLAY (C200)
- 1348 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1349 C105, PLOT 100, BROWN CLAY (C200)
- 1350 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1351 C106, PLOT 100, BROWN CLAY (C200)
- 1352 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1353 C107, PLOT 100, BROWN CLAY (C200)
- 1354 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1355 C108, PLOT 100, BROWN CLAY (C200)
- 1356 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1357 C109, PLOT 100, BROWN CLAY (C200)
- 1358 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1359 C110, PLOT 100, BROWN CLAY (C200)
- 1360 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1361 C111, PLOT 100, BROWN CLAY (C200)
- 1362 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1363 C112, PLOT 100, BROWN CLAY (C200)
- 1364 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1365 C113, PLOT 100, BROWN CLAY (C200)
- 1366 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1367 C114, PLOT 100, BROWN CLAY (C200)
- 1368 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1369 C115, PLOT 100, BROWN CLAY (C200)
- 1370 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1371 C116, PLOT 100, BROWN CLAY (C200)
- 1372 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1373 C117, PLOT 100, BROWN CLAY (C200)
- 1374 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1375 C118, PLOT 100, BROWN CLAY (C200)
- 1376 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1377 C119, PLOT 100, BROWN CLAY (C200)
- 1378 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1379 C120, PLOT 100, BROWN CLAY (C200)
- 1380 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1381 C121, PLOT 100, BROWN CLAY (C200)
- 1382 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1383 C122, PLOT 100, BROWN CLAY (C200)
- 1384 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1385 C123, PLOT 100, BROWN CLAY (C200)
- 1386 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1387 C124, PLOT 100, BROWN CLAY (C200)
- 1388 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1389 C125, PLOT 100, BROWN CLAY (C200)
- 1390 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1391 C126, PLOT 100, BROWN CLAY (C200)
- 1392 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1393 C127, PLOT 100, BROWN CLAY (C200)
- 1394 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1395 C128, PLOT 100, BROWN CLAY (C200)
- 1396 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1397 C129, PLOT 100, BROWN CLAY (C200)
- 1398 1/2" DIAMETER, 10" DEPTH, 10" LENGTH
- 1399 C130, PLOT 100, BROWN CLAY (C200)
- 1400 1/2" DIAMETER, 10" DEPTH, 10" LENGTH

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- 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99

- 2.012 PROVIDE PREPARED SCALES, DROPS, AND OTHER REGULATION GAGES
WHICH ARE USED FOR SLOWING TO STAIN, FAVORITE TO SLOPE RANGES
2.013 PERFORMANCE STANDARDS INCLUDING, WITH EACH C 111, TYPE
OF OR QUALITY-ITEM WILL BE USED IN BOTH SURFACE MATERIAL AS
SURFACE TO SURFACE
- 2.021 TWO-CAVITY 2000 0 (2000)
2.022 TWO-CAVITY 2000 0 (2000)
- 2.04 ROOF INSULATION ACCESSORIES
- 2.041 GENERAL PROVIDE ROOF INSULATION ACCESSORIES APPROVED BY THE ROOF
MANUFACTURER AND AS RECOMMENDED BY REGULATION
MANUFACTURER FOR THE WEDDED JOINT
2.042 PROVIDE COMPACT FLOOR COVERING SYSTEMS AND
WALLS OF PLASTIC PLAYS WITH CORROSION-RESISTANT PROPERTIES IN
CONFORMANCE WITH FACTORY INSULATION ROOF INSULATION COVER ROW
IN CONFORMANCE TO SPECIFIED DESIGN REQUIREMENTS

-
- Figure 1 is a line graph showing the number of cases of COVID-19 in the United States from March 2020 to March 2021. The x-axis represents time in months, and the y-axis represents the number of cases. The graph shows a sharp increase in cases starting in March 2020, peaking in May 2020, and then a gradual decline followed by a second, smaller peak in November 2020. The data is represented by a black line with markers at each data point.

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2020

DATE - / -

Figure 1 consists of seven vertically stacked plots showing the evolution of a system over time. The top plot shows the initial state with a single peak. The subsequent plots show the development of a shock front and the formation of a plateau. The bottom plot shows the final state with a well-defined plateau. The x-axis represents position and the y-axis represents density.

CLUB NAME
METRO CHICKEN OF MIAMI, LLC
MIAMI PARKWAY AT FLAMINGO ROAD
MIAMI, FL

SEAL

HAROLD DAVIS
FL REG AR

RELEASE

DRAWN BY
GM

REVIEWED BY
A

1000

DATE 09/12

7

1000

1111

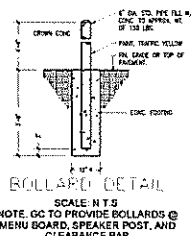
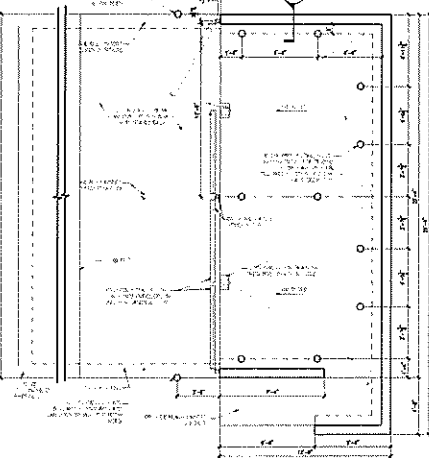
FOOTINGS, WALLS, & BOND BEAMS

FOOTINGS, WALLS, & BOND BEAMS

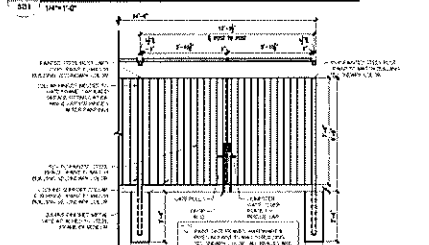
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GENERAL

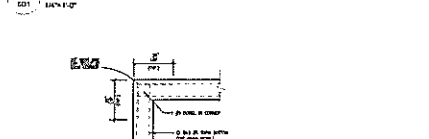
50. A movable layer of welded wire fabric shall be provided around the perimeter of the concrete slab a distance of 3 ft from the edge.
51. Welded wire fabric shall conform to ASTM A185 and lines of steel and oil. It shall be installed in length as well as possible and lap a minimum of six inches.
- GENERAL**
1. This building structure has been designed in accordance with the SIXTH EDITION, 1971 of the Florida Building Code, and Section 1602 for design pressures generated by a third second gust wind speed of 120 mph. The design is based on the provisions of the Structural Analysis and Design Manual, 1971, published by the American Institute of Steel Construction, Inc. including gravity loads, as necessary to conform compliance with the SIXTH EDITION, 1971 of the Florida Building Code. The architect is not responsible for field supervision, construction administration, review and approval of all shop drawings, verification on-site of all dimensions The design and construction of these construction documents as approved by Lee County, and designed and reviewed by Land Investment Services, Inc.
2. These plans are not intended to be mastered. The repetitive use of these plans for permitting is prohibited.
3. Contractor shall notify the owner in writing prior to construction of any discrepancy between the drawings and on-site conditions.

DUMPSTE
SECTION

DUMPSTER ENCLOSURE (RH OPENING)



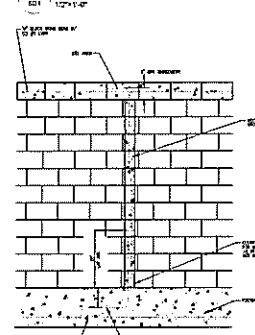
DUMPSTER GATE/ENCLOSURE



FOOTING, FOUNDATION,

SCALE N.T.S.

5. LIGHT POLE BASE DETAIL



ONE STORY MASONRY WALL

SCALE NTS

DESIGN PARAMETERS:

- APPLICABLE CODES:

☐ FLORIDA BUILDING CODE, SEVENTH EDITION, (2023) PESIDENTIAL

☐ FLORIDA BUILDING CODE, SEVENTH EDITION, (2023) MECHANICAL

☐ FLORIDA BUILDING CODE, SEVENTH EDITION, (2023) PLUMBING

☐ FLORIDA BUILDING CODE, SEVENTH EDITION, (2023) ENERGY CONSERVATION

☐ FLORIDA BUILDING CODE, SEVENTH EDITION, (2023) ACCESSIBILITY

☐ 2020 FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION

☐ 2021 NATIONAL ELECTRICAL CODE

☐ NATIONAL FIRE PROTECTION CODE, NFPA 101 (FIRE SAFETY)

☐ NATIONAL FIRE PROTECTION CODE, NFPA 13 (FIRE SUPPRTS)

☐ NATIONAL FIRE PROTECTION CODE, NFPA 72

BUILDING OCCUPANCY CLASSIFICATION

☐ GROUP A - ASSEMBLY

☐ GROUP B - BUSINESS

☐ GROUP C - DAY CARE CENTER

☐ GROUP D - EDUCATION

☐ GROUP E - COMMERCIAL INDUSTRIAL

☐ GROUP F - RESIDENTIAL

☐ GROUP G - MANUFACTURING

☐ GROUP H - INSTITUTIONAL

☐ GROUP I - MERCANTILE

☐ GROUP J - STORAGE

☐ GROUP S - PERMANENT

BUILDING CONSTRUCTION TYPE

☐ TYPE I-A ☐ TYPE I-B ☐ TYPE IV

☐ TYPE I-B ☐ TYPE II-A ☐ TYPE II-B

☐ TYPE II-A ☐ TYPE II-B ☐ TYPE II-B

RISK CATEGORY:

☐ I ☐ II ☐ III ☐ IV

[WIND LOADS ARE BASED ON CH 26 THRU 30 OF ASCE 7]

WIND SPEED:

☐ 154 MPH-ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)

SURFACE ROUGHNESS CATEGORY

☐ A ☐ B ☐ C ☐ D

EXPOSURE CATEGORY

☐ B ☐ C ☐ D

WOODSHOE DEEPEN REGION:

☐ NO

☐ YES

☐ NOT APPLICABLE

☐ IMPACT RESISTANT COVERING

☐ COMBINATION OF IMPACT RESISTANT GLAZING & COVERING

INTERNAL PRESSURE COEFFICIENT:

☐ 0.00 (GUST)

☐ +0.18, -0.18 (ENCLOSED)

☐ +0.55, -0.55 (PARABALL ENCLOSED)

COMPONENTS AND CLADDING PRESSURES:

ZONE 1 +21.1 / -20.4

ZONE 2 +24.2 / -18.5

ZONE 3 +40.0 / -108.9

ZONE 4 +44.0 / -47.9

ZONE 5 +44.0 / -27.2

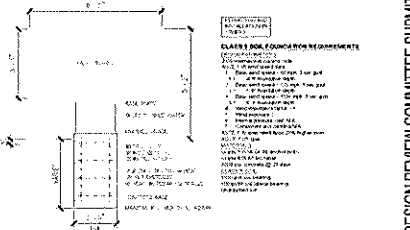
GEOTECHNICAL INFO:

FOUNDATIONS ARE BASED ON A MINIMUM SOIL BEARING

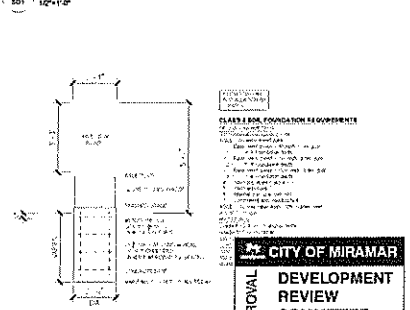
NOTE:

- 1 LOCATION PER APPROVED DEVELOPMENT ORDER

STRUCTURAL ENGINEER SHALL VERIFY FOOTING
REQUIRED FOR THE BRIDGE BOARD AND MENI BOARD



MENU BOARD FOUNDATION



PREVIEW BOARD FOUND

APPROVAL DEVELOPMENT
REVIEW
COMMITTEE
DATE: 08/11/2021

**ARCHITECTURE
ENGINEERING**

LLS

ARCHITECT & ENGINEER
17425 E. 16th Ave. Ste. 100
Aurora, CO 80012
Phone: (303) 681-2744
Fax: (303) 681-2525

ARCHITECT & ENGINEER
17425 E. 16th Ave. Ste. 100
Aurora, CO 80012
Phone: (303) 681-2744
Fax: (303) 681-2525

METRO CHICKEN OF MIAMI, LLC
MIAMI PARKWAY AT FLAMINGO ROAD
MIAMI, FL



POPEYES
NOLA 1846 - METRO
3600 PAPERBAY AT FAUCUS ROAD
MEMPHIS, TN
38117

44-38861-1000

APR 25 1964

RECEIVED

U.S. DEPARTMENT OF JUSTICE

ROBERT HAYES CASE

SLIPCASE 44-38861

1 RELEASE DATE

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3

4

5

6

FROM: C119
2020-193

ISSUE DATE
-/-/

BY: GM KB

SD1



City of Miramar

Community Development Department

Conditional Use Analysis Report

I. Project Summary

Project Name: Popeyes at Monarch Town Center

Application: 2101569 – Conditional Use

Application Summary: The applicant/owner is proposing a drive-thru fast-food restaurant. Per Table 403-1 of the City's Land Development Code, restaurants with a drive-thru component require conditional use approval.

Related Application(s): 2101567 – Site Plan
2101568 – C.A.B.
2101569 – Front Setback Variance
2102025 – Escrow

Applicant & Civil Engineer: Maxwell T. Kaplan, P.E. *on behalf of* Popeyes Louisiana Kitchen, Inc.
THOMAS ENGINEERING GROUP
6300 NW 31st Avenue,
Fort Lauderdale, FL 33309
Phone: (954) 202-7000
E-mail: mkaplan@thomaseg.com

Owner: Miramar Investment Partners LLC
301 East Las Olas Boulevard
Fort Lauderdale FL 33301

Architect: Harold Hutter III
Land Investment Services, LLC
2572 West State Road 426
Oviedo, FL 32765
Phone: 321.244.9419

II. Planning Information

Site Location: Outparcel of the Monarch Town Center development, which is a parcel located on the northwestern corner of the intersection of Miramar Parkway and Flamingo Road (Folio No. 514026100010)

Land Use Plan Designation: Commercial

Existing Zoning: Community Business (B2)

Existing Use: Vacant lot

Proposed Uses of Property: 2,145-square foot fast food restaurant with drive-thru

Adjacent properties:

	EXISTING USE	ZONING	LAND USE PLAN
North	AutoZone	Community Business (B2)	Commercial
East	Flamingo Road; <i>proposed Residential and Commercial development</i>	Mixed Use Low, (ML)	RAC, Regional Activity Center
South	CVS Pharmacy	Community Business (B2)	Commercial
West	Monarch Town Center (main shopping center)	Community Business (B2)	Commercial

LOCATION MAP



III. Background

In October of 2018, the City Commission approved the Monarch Town Center site plan and community appearance board applications for the construction of a regional shopping center via Resolution 19-10. Since October of 2018, the development has been constructed, consisting of approximately 150,000 square feet of commercial area. Multiple businesses have already been established, including Publix Supermarkets, Publix Liquors, ROSS Dress for Less, and Five Below occupying the anchor locations within the main commercial building towards the rear of the development. AutoZone has also an established presence in the shopping center as it is located on the same outparcel as the proposed Popeyes Louisiana Kitchen, Inc. ("the Applicant") drive-thru restaurant, just directly north of the portion of the lot (0.89-acres) that remains vacant. Pursuant to Chapter 4 Section 403, Table 403-1 of the City's Land Development Code, restaurants with a drive-thru component require conditional use approval.

IV. Review Criteria

The City's Land Development Code ("LDC") Section 305.7 provides that a conditional use can only be granted if a preponderance of the evidence demonstrates that the conditions listed herein are met.

(1) The proposed use shall be consistent with the comprehensive plan.

Applicant's Response: The recently adopted *City of Miramar Comprehensive Plan* designates the property for a Future Land Use (FLU) of commercial. The proposed use falls under this designation. The use is consistent with the requirements for the commercial land use category and will positively contribute to the quality of life for the citizens of Miramar. The development of the vacant site will support the existing community and future growth and development of the surrounding area.

The Goals, Objectives, and Policies (GOPs) of the Comprehensive plan have established standards via the City of Miramar Land Development Code (Code), of which the proposed Popeyes development has been designed to best align with the standards set forth by the code. The purpose of the GOPs is to provide direction for developments within the city to contribute to future growth and community improvement. The proposed Popeyes restaurant aligns with the GOPs Future Land Use Element as the development will enhance the city's aesthetic appeal and support a vibrant economic tax base. The proposed development will convert a vacant outparcel into a visually appealing restaurant building and site that will provide a service and employment opportunities to the citizens of Miramar.

Staff's Evaluation: The proposed restaurant is permitted by-right per the City's Land Development Code (LDC); however, the drive-thru component requires conditional use approval. Staff concurs and notes that the restaurant use itself is consistent with Policy 1.4 (b) of the City's Comprehensive Plan. Policy 1.4 (b) permits commercial uses such as financial institutions; medical facilities; offices; personal services; restaurants; entertainment uses; indoor commercial recreation; small appliance repair; printing; studios and galleries; instructional businesses.

(2) The establishment, maintenance, or operation of the conditional use shall not impede the development and improvement of surrounding properties for uses permitted in the zoning district nor be detrimental to or endanger the public health, safety, aesthetics, comfort, or general welfare or have a negative impact on the value of those properties.

Applicant's Response: The proposed drive-through restaurant is highly compatible with the adjacent uses on the surrounding properties. The site is an outparcel of a Publix anchored shopping center. Several other Publix anchored centers within the City contain outparcels with restaurants and/or banks with a drive-through component. The adjacent property to the south is developed as a CVS pharmacy with a drive-through service. The entrance to the CVS drive-through lanes directly abuts the drive-through lanes for the proposed Popeyes. The property to the north is currently developed as an AutoZone auto parts retail store, and the back wall of the existing store abuts the proposed parking lot for the Popeyes restaurant. The proposed drive-through is completely separated from the existing AutoZone development. The outparcel to the southwest of the proposed Popeyes is currently developed as a Speedway convenience store and gas station. The Speedway contains a drive-through car wash service.

Based on the current uses of the surrounding properties, the proposed drive-through service is a great fit for this location. The surrounding uses are very similar in nature and in no way will the establishment, maintenance, or operation of the drive-through restaurant impede the surrounding properties. The proposed landscape buffers along the north and south sides of the property are considerably dense (18 proposed trees along the north, 7 proposed and 4 existing with proposed hedges along the south) which serve as a significant barrier to the adjacent developments. Additionally, the back of house areas for both the existing AutoZone and CVS buildings face the proposed Popeyes site. Therefore, the customers of the adjacent properties will not be exposed to the Popeyes site. Lastly, the development of the Popeyes may increase the number of users of the adjacent properties as more potential customers will be drawn to the area.

The proposed development will not be detrimental to or endanger the public health, safety, aesthetics, comfort or general welfare of the public and surrounding properties. The value of the surrounding properties will not be negatively impacted, and the numbers of users drawn to the shopping center will increase due to the development of the vacant parcel.

Staff's Evaluation: Staff concurs with the applicant statement. It finds the establishment, maintenance, or operation of the drive-thru restaurant will not be detrimental to adjacent properties or endanger the public health, safety, aesthetics, comfort, or general welfare or have a negative impact on the value of the adjacent properties.

(3) The use shall be consistent with the existing natural environment, and community character of the immediate neighborhood, hours of operation compatible with adjacent properties, and is appropriate at the particular location.

Applicant's Response: The proposed drive-through restaurant will provide the surrounding community and developments with a convenient food option, and is consistent with the character of the area. The proposed development is within an existing Publix anchored shopping center that is situated at the boundary between residential communities to the north, south, and west, and an area of the City that is comprised of commercial and industrial uses. The restaurant will serve the immediate neighborhoods as well as the employees of the nearby non-residential developments. The location is appropriate as it is within a shopping center with similar commercial uses on the edge of a residential area. The hours of operation are between 10:00 AM and 1:00 AM seven (7) days a week. These hours are compatible with the adjacent gas station, pharmacy, and retail store hours.

The proposed building design incorporates features from the adjacent AutoZone and Monarch Town Center buildings in order to create a fluid appearance between the Popeyes building and existing buildings. The Popeyes building shares elements such as similar paint colors, trim, and parapet design with the adjacent buildings in order to unify the appearances of the developments. Apart from the building aesthetic, the site layout satisfies the city's bulk requirements such as the buffers and building height. The landscape design features 60 trees, several shrubs, and foundation landscaping which adds to the aesthetic appeal of the site.

Staff's Evaluation: Staff finds the proposed drive-thru restaurant is appropriate at the particular location as it would occupy one of the last remaining outparcels for the Monarch Town Center development. It will be located adjacent to the newly built AutoZone store, allowing for efficient vehicular circulation through two driveway connections, and a third driveway connection to the existing CVS Pharmacy located on the adjacent southern outparcel.

The building façade will be consistent with the architectural motif of the shopping center. It will incorporate the same colors and design elements as mentioned in the Applicant's response. The proposed hours of operation are permitted by Code, and is typical of drive-thru restaurant establishments in the City.

(4) Utilities, roadway capacity, drainage, and other necessary public facilities, including police and fire protection and emergency-rescue services, shall exist at a minimum at the city's adopted level of service, or will be available prior to issuance of any certificate of occupancy.

Applicant's Response: The proposed site will meet all of the City of Miramar Engineering, Fire, and Police departments standard requirements, as well as the South Broward Drainage District standard requirements. Water, sewer, natural gas, electric, and communications services are currently available to the property. Appropriate fire, emergency-rescue, and police access to the site and building will be provided in accordance with the city's adopted level of service. Sufficient roadway capacity exists as the overall plat for the shopping center accounted for 319,950 square feet of commercial use, and the overall development contains less than the threshold development criteria with the addition of the Popeyes restaurant.

The utility infrastructure to serve the outparcels to the overall development was installed in 2004. This included the installation of the 8" water main that currently runs through the east side of the property, and the 8" sewer main adjacent to the west side of the site. Additionally, the adjacent private road and backbone drainage system were also installed in 2004 to serve the Park Plaza development. This infrastructure was installed with the intent to serve future development of the outparcels and overall center, therefore the future utility usage of the property was previously taken into account. Additionally, the buildout of the Popeyes outparcel was taken into account in the overall drainage design approved through South Broward Drainage District and South Florida Water Management District. The existing approvals are to be modified for the construction of the Popeyes development, and the agencies will review the development's adherence to the standards set forth in the master permits.

Staff's Evaluation: As the applicant has indicated in their response, the utilities, roadway capacity, drainage, and other necessary public facilities have been accounted for through installation of the previous development per Plat entitlements and through the concurrent Development Review Committee review of the site plan development application.

(5) Adequate measures exist or shall be taken by the applicant or the property owner to provide safe ingress and egress to the proposed use, for both vehicles and pedestrians, in a manner that minimizes traffic congestion in the public streets and the use may not result in a significantly greater amount of traffic on local streets than would result from a development permitted by right.

Applicant's Response: The development platted under the Monarch Town Center has vehicular trips vested for 319,950 square feet of commercial use, and the overall development intensity will not exceed this value with the addition of the Popeyes restaurant. The proposed site will feature three points of ingress and egress for vehicles. The surrounding drive aisles provide vehicular access to the site from the major roadways. There will be a sidewalk connection on the west side of the property, which will provide ADA compliant access to the adjacent shopping center and private drive aisles with connection to the public right-of-way. Additionally, the proposed site plan provides a 170' long drive-through lane with double lanes prior to the menu board. This layout provides sufficient queuing length with storage for approximately 15 vehicles. This ensures there will be no issue with vehicles backing up into the adjacent properties or private roads.

Staff's Evaluation: Staff concurs with the applicant statement. Additionally, per the Traffic Statement Review, the dual drive-thru lane will sufficiently accommodate the anticipated demand during peak hours for the proposed Popeyes restaurant.

(6) The design and configuration of the proposed use shall minimize adverse effects, including noise, light, dust, incompatible height or massing or size, incompatible methods of operation, or other potential nuisances, of the proposed use on adjacent property through the use of building orientation and design, setbacks, buffers, landscaping and other design criteria.

Applicant's Response:

The proposed site has been configured to separate the proposed parking area from the drive-through component in order to improve the experience for customers as well as provide a buffer between the drive-through lanes and the AutoZone property to the north. The proposed drive-through lanes abut the existing drive-through area for the CVS pharmacy to the south, and the existing Speedway drive-through car wash is diagonally across from the proposed Popeyes drive-through lanes. The code required buffers, perimeter landscaping, and lighting standards will be implemented in an effort to properly buffer the drive-through and parking lot to minimize any potential nuisances. There is a significant amount of landscape buffer material consisting of trees and hedges provided on the north and south property lines adjacent to the AutoZone and CVS developments. The back of house areas of both existing developments face the proposed Popeyes, so there will be no disturbance to the storefront areas of these developments.

The photometric plan prepared for the development demonstrates that there is minimal light spillover to the adjacent properties as the light levels drop to less than 0.5 footcandles 10' from the parcel boundary. The light levels adjacent to the existing commercial properties and the private road are beneficial as the additional lighting helps eliminate dark spots typically seen along the boundaries of commercial developments.

During the construction process and operation of the development, Best Management Practices (BMPs) will be implemented to avoid any disturbance to the adjacent developments. An erosion control plan has been prepared specifying for a silt fence, filter fabric, and soil tracking device in order to prevent any dust or sediment from leaving the site. The contractor typically uses a water truck to minimize the amount of dust generated from the base rock during construction. The site has been graded to prevent runoff to the adjacent properties, and the dumpster enclosure faces north away from the adjacent CVS, so there should be no risk of refuse leaving the site.

The decibel level of the drive-thru speaker system is maintained at 60 dBA at a distance of 16 feet from the post, and 54 dBA at 32 feet. Additionally, the speaker system will utilize Automatic Volume Control (AVC) which adjusts the volume based on the surrounding ambient noise level. The system will automatically lower the outbound volume when ambient noise levels naturally decrease at night. The decibel level of the system will decrease to 36 dBA at a distance of 16 feet from the speaker when there is less than 45 dB of outside noise. Based on these design standards, there will be no adverse impacts on the adjacent developments.

Staff's Evaluation: Staff finds the design and configuration of the proposed drive-thru restaurant is compatible with the existing Autozone development directly north and with the existing CVS Pharmacy development directly south of the subject site. The building orientation allows for Code-compliant dual drive-thru lanes on the western and southern portions of the centralized restaurant building, and a drive isle with an excess of parking spaces on the north side of the building.

The applicant has requested variance approval from the front setback due to the placement of an utility and watermain easement, which prevents the building from meeting the required maximum 50-foot front setback. This issue however has been prominent in the Monarch Town Center development as multiple buildings, including most recently the adjacent AutoZone development, have obtained variance approval. The front setback variance matter will not affect design and configuration of the proposed use since the configured site layout will be similar to the footprint of the adjacent AutoZone development and will incorporate three driveway connections to maintain an efficient vehicular circulation pattern.

(7) The use meets a public need and does not have an adverse impact on the economic stability of the neighborhood.

Applicant's Response: The proposed drive-through restaurant will provide the public with a convenient dining option. This use meets the public need and will not have an adverse impact on the economic stability of the neighborhood. The proposed restaurant will draw customers to the shopping center and will help stimulate economic activity within the center.

Staff's Evaluation: Currently, Publix Pharmacy and CVS Pharmacy are the only two establishments that incorporate a drive-thru component. If approved, Popeyes will be the first drive-thru restaurant located within the Monarch Town Center development. Establishing a drive-thru restaurant at the subject location would facilitate convenient food access for motorists traveling along Flamingo Road and Miramar Parkway. Staff finds the use will have a positive impact on the economic stability of the neighborhood.

(8) The land area must be sufficient, appropriate, and adequate for the proposed use.

Applicant's Response: The Land Development Code does not specify a minimum lot size for a B-2 zoned property. A site plan has been generated that meets the bulk standards with the exception of the maximum setback requirement for which a variance will be obtained. Sufficient parking and drive-through stacking is provided in addition to adequate circulation for customers, emergency vehicles, and loading vehicles. Based on the site configuration, the land area is appropriate and adequate for the proposed use.

Staff's Evaluation: The site area for the proposed Popeyes drive-thru restaurant is 0.89 acres. This acreage allows for an efficient vehicular circulation, stacking of vehicles in the drive-thru lane, and sufficient parking spaces. Additionally, it allows the incorporation of a by-pass/fire-rescue access lane for a large portion of the drive-thru lane. There are three driveway connections proposed on this site; two would connect to the existing AutoZone outparcel, while the remaining driveway connection would be established via an existing driveway opening at the adjacent CVS Pharmacy outparcel development. Staff finds the land area sufficient, appropriate, and adequate for the proposed drive-thru restaurant.

V. Staff Recommendation

Staff recommends approval of Conditional Use application 2101569.

VI. Development Review Committee (DRC)

The Development Review Committee recommended approval of Conditional Use application 2101569 on August 11, 2021.

VII. Community Meeting

A community meeting was held on August 16, 2021. No members of the public were in attendance. Two members of the public attended. Most of the discussion was about healthy food options.

VIII. Planning & Zoning Board

The Planning & Zoning Board recommended approval of Conditional Use application 2101569 on August 17, 2021.



City of Miramar
Community Development Department
Development Review Report – Variance

I. Project Summary

Project Name: Popeyes at Monarch Towne Center

Application: 2101570 – Variance for Front Setback

Application Summary: The Applicant is requesting site plan approval of a 2,145-square foot fast food restaurant with a drive-thru. This building is proposed 76.98' feet away from the property line due to a utility easement and water main easement running parallel to Flamingo Road that prevents the applicant from placing the building within the required (maximum) front setback of 50 feet, as per LDC Section 403, Table 403-2.

Related Application(s): 2101567 – Site Plan
2101568 – C.A.B.
2101569 – Conditional Use
2102025 – Escrow

Applicant & Civil Engineer: Maxwell T. Kaplan, P.E *on behalf of* Popeyes Louisiana Kitchen, Inc.
THOMAS ENGINEERING GROUP
6300 NW 31st Avenue,
Fort Lauderdale, FL 33309
Phone: (954) 202-7000
E-mail: mkaplan@thomaseg.com

Owner: Miramar Investment Partners LLC
301 East Las Olas Boulevard
Fort Lauderdale FL 33301

Architect: Harold Hutter III
Land Investment Services, LLC
2572 West State Road 426
Oviedo, FL 32765
Phone: 321.244.9419

II.Planning Information

Site Location: Outparcel of the Monarch Town Center development, which is a parcel located on the northwestern corner of the intersection of Miramar Parkway and Flamingo Road (Folio No. 514026100010)

Land Use Plan Designation: Commercial

Existing Zoning: Community Business (B2)

Existing Use: Vacant lot

Proposed Uses of Property: 2,145-square foot fast food restaurant with drive-thru

Adjacent properties:

	EXISTING USE	ZONING	LAND USE PLAN
North	AutoZone	Community Business (B2)	Commercial
East	Flamingo Road; <i>proposed Residential and Commercial development</i>	Mixed Use Low, (ML)	RAC, Regional Activity Center
South	CVS Pharmacy	Community Business (B2)	Commercial
West	Monarch Town Center (main shopping center)	Community Business (B2)	Commercial

LOCATION MAP



IV) Background

In October of 2018, the City Commission approved the Monarch Town Center site plan and community appearance board applications for the construction of a regional shopping center via Resolution 19-10. Since October of 2018, the development has been constructed, consisting of approximately 150,000 square feet of commercial area. Multiple businesses have already been established, including Publix Supermarkets, Publix Liquors, ROSS Dress for Less, and Five Below occupying the anchor locations within the main commercial building towards the rear of the development. AutoZone has also an established presence in the shopping center as it is located on the same outparcel as the proposed Popeyes Louisiana Kitchen, Inc. (“the Applicant”) drive-thru restaurant, just directly north of the portion of the lot (0.89-acres) that remains vacant.

This application is concurrent to a site plan proposal for the aforementioned Popeyes drive-thru restaurant. This 2,145-square foot building is proposed 76.98' feet away from the property line due to a utility easement and water main easement running parallel to Flamingo Road that prevents the applicant from placing the building within the required (maximum) front setback of 50 feet, as per Land Development Code ("LDC") Section 403, Table 403-2. The existing Autozone development and outparcels abutting Miramar Parkway, received City Commission approval for the same issue, via Resolutions 20-73 and 19-10, respectively.

V) Review Criteria

The City's Land Development Code, LDC, (Section 315.7) provides that a variance can only be granted if a preponderance of the evidence demonstrates that the conditions listed herein are met.

- (1) *The particular physical surroundings, shape, topographical condition, or other physical or environmental condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the regulations were carried out literally.*

Applicant's Response: The property contains an existing city owned and maintained water main running north-south within a 20' wide water main easement. The proposed drive-through equipment and building structure cannot fall within the easement. The outside drive-through lane has been positioned as close as possible to the easement in order to minimize the east building setback. The orientation of the site with respect to the roadway frontage and canal on the east side accompanied with the existing 20' utility easement makes it difficult to design a site layout meeting the maximum front setback requirement. Also, in order to provide the drive-through lanes along the east side of the building and a drive aisle connection to the parcels to the north and south, the building has to be positioned further from the east property line. The location of the existing canal and utility easement results in a hardship to the owner which causes the maximum building setback to be exceeded.

The existing AutoZone building to the north has a front setback of 64.66' and the CVS building to the south has a setback of approximately 115'. The proposed setback of 76.98' for the Popeye's building provides continuity with the adjacent developments to the north and south. Both of the existing adjacent lots feature drive aisles on the east side of the buildings which provides improved circulation throughout the development. The proposed drive aisle on the east side of the Popeye's provides vehicles with a two alternative routes for exiting the drive-thru, which lessens the load of traffic exiting to the south through the CVS lot. Refuse vehicle circulation throughout the three lots is also ideal with the current layout as the vehicle can enter the AutoZone property from the west entrance to access the enclosure on the west side of the building, navigate around the AutoZone site down to the southeast corner of the Popeye's, and continue south to the CVS to access the enclosure on the north side of the existing building. Additionally, the improved circulation will help in emergency situations as vehicles will be able to clear the area more efficiently to allow for the fire apparatus to access and exit the property.

Due to the benefits of having the 24' drive aisle on the east side of the building while still meeting the required 20' buffer and foundation landscaping requirements, it does not seem feasible to relocate the existing water main further east in order to meet the front setback requirement. Shifting the building further east would create an awkward junction between the Popeye's drive-thru exit, connection to the CVS property, and north-south drive aisle due to the existing parking along the east side of the CVS property. Vehicles heading south along the east side of the Popeye's building would have to make a sharp right turn in order to make a sharp left into the CVS property. The proposed layout provides a smooth transition for vehicular circulation between the lots. Additionally, the 8" water main was installed approximately 15 years ago and is in great condition. It is not feasible to relocate city owned and maintained facilities in great working condition to create a layout that hinders circulation for the proposed Popeye's and adjacent existing developments.

Staff's Evaluation: There are two easements located close to the right-of-way. The first easement is a 15-foot wide Utility Easement, which is typical of nonresidential development abutting arterial roadways within the City. This easement runs parallel, but not directly adjacent to Flamingo Road. The second easement is 20 feet wide and also runs parallel to Flamingo Road. Both easements are located within the subject property and while one directly abuts the property line, the other sits further in within the site.

Because the existing CVS Pharmacy outparcel to the south, and the existing Autozone outparcel directly north, the proposed Popeyes drive-thru restaurant site configuration that is most efficient is best achieved by continuing the development pattern and placing the 24-foot drive aisle and 20-foot buffer and foundation landscaping on the east side of the building, directly over portions of the aforementioned easements. Staff finds that adhering to Code would result in a particular hardship upon the owner.

- (2) *The conditions upon which the request for a variance is based are unique to the parcel and would not be generally applicable to other property within the vicinity*

Applicant's Response: The subject property is positioned adjacent to the existing canal along the east property line, which is unique to the site as most properties do not directly abut a canal. Also, there is an additional constraint created by the water main easement with the west edge of the easement is approximately 55' from the east property line, which already pushes the proposed building location 60' into the property. These conditions are not typical for similar developments in the area, and the constraints limit the ability to design a functional site layout that meets the front setback requirement.

Staff's Evaluation: Staff finds the conditions upon which the request for a variance is based are unique to the parcel and would not be generally applicable to other property within the vicinity. Although the City has maintained a development pattern for previous years requiring that Utility Easements servicing developments are placed in close proximity to the front property line, a portion of the development under Park Plaza Shoppes Plat (Monarch Professional Centre, CVS Pharmacy and Speedway Gas Station) was constructed in the mid-2000s. This meant that all existing utility and infrastructure would present a conflict for the remaining vacant lots since the adopted Code provisions in November of 2017 required new development to meet a 50-foot front maximum setback. As such, Staff finds the conditions unique to the parcel.

- (3) *That the special conditions or circumstances do not result from the deliberate actions of the applicant or property owner of the subject property to establish a use or structure which is not otherwise consistent with this Code*

Applicant's Response: The special condition for requested variance from the front setback requirement is not a result from the actions of the developer to establish a use or structure that is not consistent with the code. The use meets to established code requirements, and the site design is consistent with the code. The limiting circumstance of the location of the existing canal and city maintained 20' water main easement is not a result of the actions by the applicant. The applicant has taken the necessary action to provide a building setback in accordance with the intent of the Land Development Code to the furthest extent possible considering the existing constraints.

Staff's Evaluation: The circumstances surrounding the proposed development is not a result from the deliberate actions of the applicant or property owner of the subject property to establish a use or structure which is not otherwise consistent with this Code. The existing development within the Plaza Shoppes Plat dictated the existing location of the utility easement and water main easement, which occurred prior to the current developing firms' ownership of the property. These, in hand with a previous LDC provision that instituted a minimum front setback requirement rather than a maximum, informs the development pattern for the existing property within the plat and why it is currently affecting the building placement of the proposed development.

- (4) *That the granting of the variance will not confer on the applicant or the property owner of the subject property any special privilege that is denied by the Code to other similarly situated lands, buildings, or structures in the same zoning district.*

Applicant's Response: The granting of the variance for relief from the building setback requirement does not confer on the applicant or owner any special privilege that is denied to other similar developments within the same zoning district. This is a unique case where an existing utility easement runs along the front setback area accompanied with an existing canal. The property owner is requesting relief from a code required setback that is currently a hardship as the requirement makes it difficult to develop functional site with the existing constraints. Various other commercial developments along Flamingo Road adjacent to the canal do not appear to meet the maximum setback, therefore the granting of the variance will not confer any special privilege on the applicant.

Staff's Evaluation: Staff concurs with the applicant's response.

- (5) *The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity.*

Applicant's Response: The deviation from the maximum building setback of 50' specified in the Land Development Code does not pose any detriment to the public welfare and is not injurious to other property or improvements in the vicinity. The applicant is requesting approval of the variance to account for the above-referenced conditions while still providing the building setback as intended by the Land Development Code provision in a manner that promotes public safety, health, and well-being. Providing a larger setback in no way poses a detriment to the public welfare or is injurious to other property or improvements in the vicinity.

Staff's Evaluation: The development of the Monarch Town Center, which is part of the same property where the restaurant will be located, was granted relief from the front setback requirement by the City Commission in October of 2018, via resolution 19-10. Furthermore, the adjacent Autozone Retail Auto Parts Store to the proposed Popeyes was also granted relief by the City Commission in 2020, via Resolution 20-73. Based on the circumstances, Staff finds that the proposed building, being in close proximity to Flamingo Road, will not cause any substantial detriment to adjoining properties.

- (6) *The proposed variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the vicinity.*

Applicant's Response: The requested variance in no way increases the congestion of public streets, increases the danger of fire, endangers the public safety, or substantially diminishes or impairs property values within the vicinity. The larger setback allows for sufficient room for the drive-through lanes and a vehicular connection to the adjacent parcels, which improves traffic circulation throughout the development. The access road along the east side of the site provides additional circulation throughout the development which decreases congestion and increases safety in the event of an emergency. Additionally, slightly exceeding the code required maximum front setback has no effect on the property values within the vicinity.

Staff's Evaluation: Staff agrees that the location of the easements and underground infrastructure on the subject site were put in place long before any development was constructed thus creating a circumstance which hinders the Applicant from meeting the Code requirement of placing a building within 50 feet of the property line. However, due to the nature of the existing surrounding development, Staff finds that granting a relief from Code Section 403, Table 403-2 will not increase congestion in the public streets, or increase the danger of fire, the public safety, or substantially diminish or impair property values within the vicinity.

VI) Staff Recommendation

Staff recommends approval of variance application 2101570.

VII) Development Review Committee (DRC)

The Development Review Committee recommended approval of application 2101570 on August 11, 2021.