

**CITY OF MIRAMAR
PROPOSED CITY COMMISSION AGENDA ITEM**

Meeting Date: January 15, 2020

Presenter's Name and Title: Deborah Stevens, Assistant Director, on behalf of Community Development Department

Prepared By: Deborah Stevens, Assistant Director

Temp. Reso. Number: 7079

Item Description: Temp. Reso. No. 7079, APPROVING A REQUEST TO EXCEED THE RESIDENTIAL REHABILITATION MAXIMUM ALLOWANCE FOR THE PROPERTY LOCATED AT 6771 PANSY DRIVE; AUTHORIZING CITY MANAGER TO APPROVE EXPENDITURES TO REPAIR THE PROPERTY. *(Community Development Assistant Director, Deborah Stevens)*

Consent ☒ Resolution ☐ Ordinance ☐ Quasi-Judicial ☐ Public Hearing ☐

Instructions for the Office of the City Clerk:

Public Notice – As required by the Sec. N/A of the City Code and/or Sec. N/A, Florida Statutes, public notice for this item was provided as follows: on N/A in a N/A ad in the N/A; by the posting the property on N/A and/or by sending mailed notice to property owners within N/A feet of the property on N/A (fill in all that apply)

Special Voting Requirement – As required by Sec. N/A, of the City Code and/or Sec. N/A, Florida Statutes, approval of this item requires a N/A (unanimous, 4/5ths etc.) vote by the City Commission.

Fiscal Impact: Yes ☒ No ☐

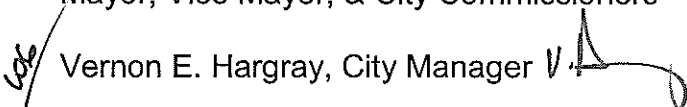
REMARKS: Funds for this project are budgeted in Account No. 167 41 900 554 000 604680 92627, entitled, "CDBG Home Repair."

Content:

- **Agenda Item Memo from the City Manager to City Commission**
- **Resolution TR7079**
- **Attachment(s)**
 - **Attachment 1: Scope of Work**
 - **Attachment 2: Change Orders**
 - **Attachment 3: Pictures**



**CITY OF MIRAMAR
INTEROFFICE MEMORANDUM**

TO: Mayor, Vice Mayor, & City Commissioners
FROM:  Vernon E. Hargray, City Manager
BY: Eric Silva, Director, Community Development Department
DATE: January 9, 2020
RE: Temp. Reso. No. 7079, approving a request to exceed the Residential Rehabilitation Maximum Allowance for the property located at 6771 Pansy Drive

RECOMMENDATION: The City Manager recommends approval of Temp. Reso. No. 7079, approving a request to exceed the Residential Rehabilitation Maximum Allowance for the property located at 6771 Pansy Drive.

ISSUE: City Commission approval is required for grant-funded Residential Rehabilitation projects that exceed the \$90,000 maximum allowance.

BACKGROUND: Ilene Spence, a senior citizen was approved in 2014 for residential rehabilitation assistance for her property located at 6771 Pansy Drive. The scope of work addressed all areas of the home including, roof, windows, doors, air condition unit, kitchen cabinets, refrigerator, stove, shower, toilet, mold remediation, sinks, hot water tank and termite treatment.

Over the course of five years, there have been many bumps in the road, which have not only delayed the completion of the project but have also changed the scope of work and increased the cost of the project. The project has been put out to bid a total of four times by the City's grant consultant, Community Redevelopment Associates of Florida ("CRA"), which resulted in three contractors that did not finish the project. More recently, after City staff conferred with the City Attorney, the Procurement Department was asked to issue a Request for Quote ("RFQ") to finalize the project. No responses were received for the RFQ. The project was put to bid for a fifth time and a contract in the amount of \$36,790 was awarded to Reliant Construction Group.

At this juncture, it is necessary to seek Commission approval to complete the project, which now exceeds the \$90,000 maximum allowance. The first contractor was awarded \$46,140 for the project but no expenditure was incurred, since the contractor withdrew from the project. The second contractor, James Joyce Construction was awarded \$46,700 for the project and was paid \$33,163 for the work that was completed prior to the contractor's departure from the project. A third contractor, Whyte Way Construction, was also selected but never started. Reliant Construction Group, the contractor currently finalizing the project, was awarded \$36,790. In addition to unforeseen costs associated with water damage and mold remediation, one inspector and three contractors withdrew from the project which impacted the scope of the work and costs resulting in several change orders and pushing overall costs beyond the \$90,000 threshold. Project costs are summarized below:

Project Cost

Contract/Change Order	Amount	
Work 4 U Construction	\$0	No work completed; first contractor
James Joyce Construction	\$33,163	Payment for work completed; second contractor
Whyte Way Construction	\$0	No work completed; third contractor
Reliant Construction Group	\$36,790	Bid awarded to complete project; current contractor
Change Order #1	\$28,800	Water damage
Change Order #2	\$13,358	Mold remediation
Change Order #3	\$3,073	Cabinets (changed and repurposed to another project)
Change Order #4	\$750	Electrical wiring in attic
Soft Costs	\$10,310	
Project Cost	\$126,244	
6.5% Contingency	\$8,205	
Projected Project Cost	\$134,449	

Staff is hereby requesting approval to complete rehabilitation of the property at a cost not to exceed \$134,500. The funding source for Residential Rehabilitation is Federal and State Grants.

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1/9/20
1/8/20

**CITY OF MIRAMAR
MIRAMAR, FLORIDA**

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY
OF MIRAMAR, FLORIDA, APPROVING A REQUEST TO
EXCEED THE RESIDENTIAL REHABILITATION MAXIMUM
ALLOWANCE FOR THE PROPERTY LOCATED AT 6771
PANSY DRIVE; AND PROVIDING FOR AN EFFECTIVE
DATE.**

WHEREAS, on March 23, 2016, the City adopted a Local Housing Assistance Plan covering Fiscal Years 2016-2017, 2017-2018 and 2018-2019 (the "LHAP"); and

WHEREAS, Owner Occupied Rehabilitation is one of the strategies in the LHAP;
and

WHEREAS, the goal of the Owner-Occupied Rehabilitation is to assist very low and low income residents; and

WHEREAS, on August 22, 2018, the City Commission adopted Resolution 18-162 approving an amendment to the LHAP for Fiscal Years 2016-2017, 2017-2018 and 2018-2019 to increase the maximum award amount of the Owner-Occupied Rehabilitation strategy to \$90,000; and

WHEREAS, the aging of homes in Historic Miramar has resulted in increased cost of residential repairs; and

WHEREAS, unforeseen circumstances including water damage, mold remediation and the withdrawal of three contractors and one inspector from the project have increased

Reso. No. _____

Temp. Reso. No. 7079
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1/8/20

the scope of the work and costs resulting in several change orders that pushed overall costs beyond the \$90,000 threshold; and

WHEREAS, the City Manager and Community Development Director recommend approval of the residential rehabilitation to the property located at 6771 Pansy Drive in an amount not to exceed \$134,500; and

WHEREAS, the City Commission deems it to be in the best interest of the residents and citizens of the City to preserve affordable housing stock in Historic Miramar through residential rehabilitation projects and approves the residential rehabilitation of the property located at 6771 Pansy Drive in an amount not to exceed \$134,500.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF MIRAMAR, FLORIDA AS FOLLOWS:

Section 1: That the foregoing “WHEREAS” clauses are ratified and confirmed as being true and correct and are made a specific part of this Resolution.

Section 2: That the request to exceed the Residential Rehabilitation Maximum Allowance in a total project amount not to exceed \$134,500 for the property located at 6771 Pansy Drive is approved.

Section 3: That the appropriate City officials are authorized to do all things necessary and expedient to carry out the aims of this Resolution.

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Section 4: That this Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED this _____ day of January, 2020.

Mayor, Wayne M. Messam

Vice Mayor, Alexandra P. Davis

ATTEST:

City Clerk, Denise A. Gibbs

I HEREBY CERTIFY that I have approved
this RESOLUTION as to form:

City Attorney,
Austin Pamies Norris Weeks Powell, PLLC

Requested by Administration

Commissioner Winston F. Barnes
Commissioner Maxwell B. Chambers
Commissioner Yvette Colbourne
Vice Mayor Alexandra P. Davis
Mayor Wayne M. Messam

Voted

Reso. No. _____

ATTACHMENT 1

COMMUNITY REDEVELOPMENT ASSOCIATES OF FLORIDA, INC.

Community
Redevelopment
Associates
of Florida, Inc.

8569 Pines Boulevard, Suite 201
Pembroke Pines, FL 33024
Phone: (954) 431-7866 Ext. 125
Fax: (954) 431-6882

NOTICE OF BID AWARD

CITY OF MIRAMAR

☒ CDBG ☐ DRI ☐ HOME ☐ NSP ☐ SHIP
RESIDENTIAL REHABILITATION PROGRAM

To:	James Joyce - James Joyce Construction Corp.
Tele:	(954) 444 1301
Email:	jimjoyce@jamesjoyceconstruction.comcastbiz.net
From:	Deaverlyn (Dev) Brown, Program Specialist
Date:	April 21, 2015

Potential Leveraging: CDBG

The following project has been awarded to your Company, as the lowest and/or most responsive bidder, based on your written bid to the City of Miramar Rehabilitation Program. The bid award is in the amount of *\$46,700.00. Funding for this project is provided by the program indicated above and is subject to the payment procedures and requirements of the indicated City.

Applicant(s):	Ilene Spence
Address:	6771 Pansy Drive, Miramar, FL 33023
Phone:	(954) 559-7392; (954) 559-7392

*Base Bid	\$99,000.00
Total Deletions per list attached	52,300.00
Contract Award	\$46,700.00

Before you proceed with work or incur any costs related to the project, the following must take place:

1. CRA must receive a copy of the fully executed contract between your company and the homeowner(s) on or before Monday, April 27, 2015.
2. Upon receipt of the following:
 - a. Signed contract
 - b. List of sub-contractors and suppliers (form enclosed)
 - c. A time-line schedule for project completion
 - d. Contractor Evaluation FormCRA will issue a "NOTICE TO PROCEED"

YOU MUST PROVIDE CRA AND THE HOMEOWNER(S) WITH A LIST OF ALL SUB-CONTRACTORS AND SUPPLIERS YOU WILL BE USING ON THIS PROJECT on or before Monday, April 27, 2015.

If you need further information, please do not hesitate to contact us at 954-431-7866 x 125.

Sincerely,
D.M. Brown

Deaverlyn (Dev) Brown
Program Specialist
Email: dbrown@crafla.org
Encl.

Sealed Bid Submission To:
City of MIRAMAR
Residential Rehabilitation Program
NSP/SHIP/CDBG/HOME

Contractor

Name: JAMES JOYCE CONST. CORP.
Address: 600 WEST LAK OLAN BLVD.
#907
City/State/Zip: FT. LAUDERDALE, FL 33312
Telephone: 954-533-2672
Email: _____

Homeowner/Project

Name: ILENE SPENCE
Address: 6771 PANSY DRIVE
City: MIRAMAR
State/Zip: FL 33023

Sealed Bid Due:

Date: 7/23/14
Time: 4 PM

Bid Opening:

Date: 7/23/14
Time: 4:15 PM

All Sealed Bids must be delivered to:
Community Redevelopment Associates of Florida, Inc.
Housing Programs Office
8569 Pines Blvd, Suite 207
Pembroke Pines FL 33024.

JUL 23 PM 4:30

- Sealed bids will not be accepted between the hours of 12:30 PM and 1:30 PM
 - Sealed bids will be time stamped upon submission by CRA
- Time stamped sealed bids must be placed by the Bidder in the Sealed Bid Lockbox [Fold to fit if necessary]

Bid Procedures Cover Page

**CITY OF MIRAMAR
N.S.P./S.H.I.P/C.D.B.G./HOME
HOME REPAIR/IMPROVEMENT PROGRAM
Mandatory Pre-Bid
Request Quotation No.: M93614**

JULY 16, 2014

TO: Contractors from Qualified List attending Pre-Bid Conference

FROM: William La'Marr Ruffin, 954-709-0471

SUBJECT: **MANDATORY** Pre-Bid Conference for
Home Repair/Improvement Program

PROJECT MEETING SITE: **Ilene Spence
6771 Pansy Drive
Miramar, FL 33023**

BID DUE DATE AND TIME: **JULY 23, 2014** **BY** **4:00 PM**
BID OPENING DATE AND TIME: **JULY 23, 2014** **AT** **4:15 PM**

Please review the following:

- 1) Contractors who want to bid on this project must attend the Pre-Bid Conference.
- 2) Contractors will be responsible for verifying all job conditions, measurements, code requirements and pricing prior to bid submission.
- 3) Contractors must submit his/her bid on the form provided in a sealed envelope. The envelope is to display:
 - a. **Name of customer**
 - b. **Full address**
 - c. **Bid due date and time**
 - d. **The name of the City in which the customer(s) resides**
- 4) Any additions, deletions or changes to the form will disqualify the bid.
- 5) The bid document must be signed and dated by the qualifier
- 6) The bid should be hand delivered to:

**Community Redevelopment Associates of Florida Inc.
8569 Pines Boulevard, Suite 201, Pembroke Pines, FL 33024
Attention: Andrew Azebeokhai**
- 7) The bid closing date is the "due date" cited above The Contractor's bids must be turned in no later than 4:00 PM on the due date.
- 8) Any bids received late will be disqualified.

If you have any questions, you may contact William La'Marr Ruffin 954-709-0471.

SPECIFICATIONS FOR WORK

**CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME
HOME REPAIR/ IMPROVEMENT PROGRAM
JULY 16, 2014**

PROPERTY OWNER: **Ilene Spence
6771 Pansy Drive
Miramar, FL 33023**

HOME TELEPHONE: **954-559-7392**
WORK TELEPHONE:

LEGAL DESCRIPTION: **MIRAMAR ISLES SEC 5 61-46 B LOT 28 BLK 19**

JOB NUMBER: **M93614**

GENERAL SPECIFICATIONS

The Contractor shall perform the services with the standard of skill, care and due diligence, which a competent and suitable qualified person performing such services would reasonably be expected to exercise, and in accordance with the Work Specifications. The work shall be performed in a "Workman Like Manner." Contractor to include cost of services of any licensed professional, if necessary, in procuring permits for the work.

To the fullest extent permitted by law, the Contractor shall indemnify, defend and hold harmless the owner and the City and its agents and employees, from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of the work or providing of materials to the extent caused in whole or in part by negligent or wrongful acts or omissions of, or a breach of this agreement by, the contractor, a subcontractor, anyone directly or indirectly employed by them or anyone whose acts they are legally responsible.

The Contractor certifies that the location of the proposed work has been examined, as necessary to fully understand the nature of the obligation. The Contractor is responsible for measurements. The work should be complete in the time limit(s) specified and in accordance with the plans and Work Specifications.

The Contractor must pull the permit within thirty (30) days of the issuance of the Notice to Proceed. Construction work must begin within forty-five (45) days from the date of the Building Permit issuance and shall be carried out at a rate that insures its full completion no later than one hundred and twenty (120) days from the date of the issuance of the Notice to Proceed.

The Contractor shall provide all necessary materials, equipment and personnel who have the appropriate qualifications and experience to undertake the scope of the Work Specifications.

The Contractor agrees to provide a one (1) year warranty for all work performed under these specifications. This will include all labor and materials. If certain items require different warranty periods, these items will be cited in the individual specifications.

All work performed under these specifications must be done in compliance with the local City Ordinance and within the interpretation of the Florida Building Code. Attempts were made to identify the required permits, per line items cited below. However, it is the Contractor's responsibility to identify and pull all required permits.

All applicable State and Federal Statutes must be followed (i.e. Davis Bacon, Child Labor Laws etc.). Failure to comply with general conditions may result in suspension or removal from the program.

There can be no verbal agreements between the Contractor and Homeowner.

Each of the Parties (by notice) in writing to the other can request a modification(s) to the requirement(s) cited in the Work Specifications should such modification(s) (at any time) become necessary due to Code requirements or unforeseen conditions/circumstances. In the event of any such modifications, the payment or credit for these (documented) changes may be subject to fair and reasonable adjustment(s) agreed upon between the City agent and the Contractor; these payment or credit adjustment(s) will be recorded in writing.

If there are conflicts between the Homeowner and the Contractor, the requirements cited in the Work Specifications shall prevail. Exception: Contractor and Homeowner must receive written approval from the Homeowner Association or Condo Association and/or Property Manager for all work items.

The Contractor acknowledges that the agent of the City shall perform pre and post inspections of all work performed. Final and full payment for all work completed pursuant to the Work Specifications (as amended/modified, if applicable) shall be made upon completion of all inspection(s) required by the program and the work has been deemed satisfactory.

The invoice for work satisfactorily completed must be submitted to the City agents and shall include the following documents at a minimum;

1. Invoice with invoice numbers (#)
2. Amount of invoice must match the signed proposal and signed Change Order(s), if applicable.
3. Homeowner's signature stipulating work satisfaction and completion
4. Contractor Release of Liens and each Sub-contractor Release of Liens
5. Copies of all required Permits, signed off and approved.
6. Warranty for work performed.

Homeowner shall provide the Contractor access to the property; Monday thru Saturday between 8am and 6pm. Homeowner shall provide the water and electric services necessary to accomplish this work.

If at any point in the following Specifications a "maximum retail price or material allowance" is quoted for an item to be installed, the Homeowner will be responsible for selecting and approving this item within the quoted price range. The Contractor must have written acceptance from the Homeowner, prior to the installation of this product. All material allowance includes sales tax.

It is the Homeowner responsibility to remove and replace all personal property to facilitate the performance of the work. This includes, but is not limited to rugs, furniture, antennas and alarm system.

Contractor shall repair/relocate any phone wires that are affected by this work, Homeowner responsible for all TV cables or satellite wiring.

All exterior and interior walls, ceilings, doors and trim paint will be the responsibility of the Homeowner unless otherwise stated in individual specification.

Lead Based Paint Testing Report was emailed to each contractor attending the Pre-Bid Conference: by signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

SECTION 3 CLAUSE AND PROVISIONS

1. "Section 3" Compliance in the Provision of Training, Employment and Business Opportunities

(A) The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

(B) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.

(C) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

(D) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

(E) The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

(F) Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(G) With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible

(H) Preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

SECTION 3 STATEMENT OF COMPLIANCE

TRAINING, EMPLOYMENT, AND CONTRACTING OPPORTUNITIES FOR BUSINESS AND LOWER INCOME PERSONS

A. The project assisted under this (contract) (agreement) is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S. C. 70U. Section 3 requires that to the greatest extent feasible opportunities for training and employment be given to lower income residents of the project area and contracts for work in connection with the project be awarded to business concerns which are located in or owned in substantial part by persons residing in the area of the project.

B. Notwithstanding any other provision of this (contract) (agreement), the (applicant) (recipient) shall carry out the provisions of said Section 3 and the regulations issued pursuant thereto by the Secretary set forth in 24 CFR Part 135 (published in 38 Federal Register 29220, October 23, 1973), and all applicable rules and orders of the Secretary issued there under prior to the execution of this (contract) (agreement). The requirements of said regulations include but are not limited to development and implementation of an affirmative action plan for utilizing business concerns located within or owned in substantial part by persons residing in the area of the project; the making of a good faith effort, as defined by the regulation, to provide training, employment and business opportunities required by Section 3; and incorporation of the "Section 3 Clause" specified by Section 135.20 (b) of the regulations in all contracts for work in connection with the project. The (applicant) (recipient) certifies and agrees that it is under no contractual or other disability which would prevent it from complying with these requirements.

C. Compliance with the provision of Section 3, the regulations set forth in 24 CFR Part 135, and all applicable rules and orders of the Secretary issued thereunder prior to approval by the City of the application for this (contract) (agreement), shall be a condition of the Federal financial assistance provided to the project, binding upon the (applicant) (recipient), its successors and assigns. Failure to fulfill these requirements shall subject the (applicant) (recipient), its contractors and subcontractors, its successors, and assigns to the sanctions specified by the (contract) (agreement), and to such sanctions as are specified by 24 CFR Section 135.

Name of Contractor: James Joyce Const. Corp.

Title of RFP or Spec: M93614

Spec # or RFP # or Purchase Order Bid No _____

Will you hire new employees as a result of this contract? Yes [] No [X]

Contractor: James Joyce

Contractor's Signature and Title [Signature] - President Date: 7/2/14

GENERAL REQUIREMENTS

LEAD REPORT

As part of these specifications, a 'Lead-Based Paint Testing Report' provided by EE&G Environmental Services, LLC., Project No. 2009-2207 LBP, dated March 17, 2014, was e-mailed to all contractors attending the Pre-Bid Meeting and signed the sign-in sheet. by signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

GENERAL PAINT SPECIFICATIONS

Unpainted materials require priming and two coats of paint. Tint the primer per color selection. Previous paint surface should receive two coats of paint. All stains should be spot-primed before painting. Unless otherwise mentioned in the specifications, all paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO VOC products, for interior paint and ZERO OR LOW VOC 100% acrylic products, for exterior paint. Acceptable paint manufacturers (unless specified in the line item) are Benjamin Moore, Sherwin Williams, Glidden/ICI, PPG, Olympic, Valspar or approved equal. Housing Inspector shall verify brand and VOC level. The Homeowner is to select all colors and confirmed in writing. Upon completion, contractor must provide the Homeowner a list of all paint code numbers per rooms and locations, for later color matching.

CLEAN UP

Contractor agrees to keep the property clean and orderly during the course of the work and to remove all materials, debris, equipment and machinery at the completion of the workday. Clean interior and exterior work in a professional, workmanship type manner with all O.S.H.A. safety laws and rules observed.

- Remove all debris daily and broom clean the worksite at all times.
- Contractor shall not use residential bulk and regular trash pickup system to remove construction debris.
- City's official waste management providers must be used for all waste disposal activities for this project:

Waste Pro USA
17302 Pines Boulevard
Pembroke Pines, FL 33029
(954) 967-4200
(954) 241-4489

- Cover and protect the furniture and all surfaces from construction dust.
- All related construction items removed will become the property of the Contractor, unless a prior agreement is reached (in writing) with Homeowner.

PERMITS AND MISCELLANEOUS FEES

The City of Miramar permit fees waived with the "Affordable Housing Stamp" and a letter requesting a waiver, obtained at Community Redevelopment Association of Florida Inc., 8569 Pines Boulevard, Suite 201, Pembroke Pines, FL 33024. All permits, inspections, process fees, impact fees, miscellaneous fees, Notice of Commencement, engineering or survey required to complete the following tasks shall be the responsibility of the Contractor.

- For the Home Inspector, the contractor must have on site the complete permit package for all trades (permit cards, applications, drawings, etc.).
- Upon completion of the work specifications, the Contractor must completely fill-out, the Homeowner supplied, Uniform Mitigation Verification Inspection Form, include supplying pictures and performing research to determine permit history and year house built.

SITE CONSTRUCTION

01) TERMITE TREATMENT

\$ 1,400

Perform tent fumigation for exterminating Dry-wood Termites by a licensed pest control company using VIKANE gas fumigant. The Contractor shall schedule the treatment between Homeowner and exterminating company. Homeowner must vacate the premises prior to and after the treatment as directed by the exterminating company. The Contractor must furnish an inspection/treatment report after the fumigation and a warranty from the pest control company. Priority 5

- Special note: remove the birds and rodents nest from the attic.

WOOD & PLASTICS

02) KITCHEN - REPLACE CABINETS AND COUNTERTOP

INSTALL ELECTRICAL RECEPTACLES

PATCH AND PAINT THE WALLS AND CEILING

\$ 8,300

Remove the kitchen countertop, base and wall cabinets. Remove the soffit system above the wall cabinets and window, do not replace. Haul away all debris from property at once. The Contractors will verify measurements and dimensions. This item requires a permit. Priority 2

WALLS AND CEILING

- After removal of the soffit system: Repair any crack(s), patch small holes with spackle, patch large hole and walls/ceiling replacement, with like material (or drywall) and matching the thickness of existing walls/ceiling. Install the required framing, backings and/or furring strips. Patched walls and ceiling finishes should match existing finish as close as possible. Discuss (with Homeowner) any variations in new finish or type of new finish, prior to beginning the work. Include painting of pantry closets, wood trim, baseboard and door. Patch

and paint the entire walls and ceiling. Homeowner will select the paint color. Paint per the General Paint Specifications.

- Note, after the cabinets' removal, patch and prime the walls concealed by the cabinets and back splash; patch and finish paint all exposed walls behind the cabinets. All exposed walls under the cabinets must have a finished appearance.

CABINETRY

- Replace the cabinetry and countertop in the same configuration as the existing, except as noted herein. The Homeowner will select cabinets color and design, from standard stock. Place escutcheon plates at all plumbing and electrical opening through the cabinet.
- Install corner cabinet in the corner.
- Install 42" wall cabinets.
- Install wall cabinet above the refrigerator.
- Install a wall cabinet above the stove high enough for a future microwave under the cabinet unit.
- Replace any missing flooring, as required, match existing as close as possible.
- All new cabinets are to be plywood or solid wood with raised wood doors, no particleboard and no thermo-foil. **CONTRACTOR is responsible for verifying all cabinetry material with Housing Inspector.**
- For cabinet attachment, use washer head cabinet screws or cabinet screws with cup washers.
- Material allowance including sales tax for door and drawer knobs/handles is \$2.00 each. For attachment, use washer head cabinet screws or cabinet screws with cup washers.
- On top of the base cabinets, install the new standard Formica countertop on veneered exterior grade plywood. Homeowner will select color and design, within the budget. No Formica seams within 18" of wet area around sink.
- Do not install the window and sill directly on top of the countertop. See windows replacement below.
- Install a full tiled back splash. Note the existing back splash is tiled.
- Under this work item, install an independent countertop shelf on the patio side of the kitchen window.

ELECTRICAL

- Under this work item, provide the required number of tamper proof GFCI Receptacles along the kitchen countertop, i.e., there must be no point along the kitchen countertop wall-line located further than 24" from the GFCI outlet. Counter space 12" or more must have a tamper proof GFCI outlet.
- Under this work item, provide a 4-prong receptacle with the required wiring for the electric range. Provide a new power cord and connection to the range.
- Under this work item, provide a dedicated 20 amps outlet and wiring over the kitchen range/stove.
- Under this work item, provide a receptacle and wall switch for a garbage disposal.

THERMAL & MOISTURE PROTECTION**GENERAL ROOF SPECIFICATIONS**

Install sheathing end joints over rafters. All supporting verge rafters shall extend back into the roof at least four feet. Brace all sagging portions of the roof with same size lumber to nearest bearing wall. Use purlins when necessary. The first two hundred feet of unforeseen rotten or damaged sheathing replacement will be included in the contract price. Replacement of any additional sheathing requires the Housing Inspector's verification and authorization prior to replacement. **Note: the contractor must examine the fascia and soffit. Exposed fascia and soffit replacement will not count as additional wood and no change order allowed for replacement.** An Engineer Certification is required for repair/replacement of roof framing components of structural concern. Install the roofing material, its components and vents in strict compliance with the Florida Building Code, Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). **Contractor must verify all trusses/rafters roof-to-wall hurricane tie down prior to roof removal. See the "provisional" work item below to install missing straps that wrap over the top of the trusses/rafters prior to completing the new roof system.**

03) SLOPED ROOF- ARCHITECTURAL SHINGLES\$ 11,800

Remove all existing roofing covering, underlayment, and flashings to bare sheathing. Remove all protruding nails or staples. Sweep-clean sheathing of all foreign materials and haul away all roofing debris from property at once. Replace all rotten, damaged, and missing sheathing and rafters, per General Roof Specifications. Furnish and install new underlayment, 3 inches galvanized steel drip edge, galvanized steel valleys, lead stacks on all plumbing projections, pitch pan at electrical service mast, and new roof jacks. Furnish and install new architectural fungus resistant shingles mechanically fastened to deck. Valley shingles may be applied in an open or closed fashion only, not woven. Contractor shall warranty work for five years from final completion date of all work required under this contract. Homeowner will select colors from the manufacturer's standard colors. Upon completion of work, Contractor will provide the Homeowner with the manufacturer's shingle warranty and Contractor's five-year warranty against leaks. This item requires a permit. Priority 2

- Remove all unused vent stacks.
- Replace the existing turbine roof vents with gooseneck vents. Do not reduce existing vent openings.
- All shingles shall be - fiberglass asphalt laminated shingles, algae resistance, rated for 130 mph wind resistance and have a Class A fire rating. Acceptable shingles are Timberline HD as manufactured GAF and Oakridge Shingles as manufactured by Owen Corning, or approved equal.
- Remove all damaged or deteriorated fascia and soffit. Replace all soffit vents. Haul away all debris from property at once. Furnish and install new 1"x2" pressure treated furring, as required. Fascia and soffit (including soffit vents) replacement shall be with matching size and material. Miter outside corners. Secure all fascia and soffit with non-corrosive nails. Minimum length of any fascia or soffit segment shall be 5 feet.

- As required, the contractor must remove and reattach all attachments (including patio enclosure framing) to fascia and soffit removed, after fascia and soffit replacement. Paint fascia and soffit to match existing.
- Special note: remove and replace with new all the soffit on the front elevation start with the front porch soffit to the east corner of the house. Replace as noted above.
 - Special note: remove the birds and rodents nest from the attic.
 - Contractor must verify all trusses/rafters roof-to-wall hurricane tie down prior to roof removal. See the "provisional" work item below to install missing straps that wrap over the top of the trusses/rafters prior to completing the new roof system.

04) FLAT ROOF MODIFIED BITUMEN

\$ 6,900

LOCATIONS: TWO FLAT ROOFS (FRONT AND REAR OF HOUSE), INSTALL INSULATION BOARD ON FRONT ROOF ONLY

Remove all existing roofing covering, underlayment, and flashings to bare sheathing. Remove all protruding nails or staples. Sweep sheathing clean of all foreign materials and haul away all roofing debris from property at once. Replace all rotten, damaged, and missing sheathing and rafters as per General Roof Specifications and paint to match existing. Furnish and install new underlayment mechanically fastened to the deck, two layers of fiberglass ply sheet, solid mopped with hot asphalt and one layer of Modified Bitumen solid mopped with hot asphalt. Where required, install new minimum 3 inches galvanized steel drip edge, galvanized steel valley, return/wall flashing, lead stacks on all plumbing projections, pitch pan at electrical service mast, and new roof jacks. Upon completion of work, Contractor will provide the Homeowner with the manufacturer's warranty and Contractor's five-year warranty against leaks. This item requires a permit. Priority 2

- **NOTE: INSTALL ISOCYANURATE INSULATION BOARD TO PROVIDE MINIMUM R-30 ON THE FLAT ROOF IN FRONT OF THE HOUSE. INSTALL AN INSULATION STOP ON THE ROOF PERIMETER. INSPECTION OF THE PERMIT APPLICATION AND THE PRODUCT APPROVALS ARE REQUIRED FOR THE FINAL INSPECTION. FOLLOW THE MANUFACTURER OF THE ROOFING MEMBRANE PRODUCT APPROVAL FOR MOPPING TO AND ATTACHING THE ISOCYANURATE INSULATION BOARD.**

- There can be no pooling water. If required, use tapered insulation and/or build up low areas, to prevent any pooling water.
- Remove all unused vent stacks.
- Remove all damaged or deteriorated fascia and soffit. Replace all soffit vents. Furnish and install new 1"x2" pressure treated furring, as required. Fascia and soffit (including soffit vents) replacement shall be with matching size and material. Miter outside corner and secure all fascia and soffit with non-corrosive nails. Minimum length of any fascia or soffit segment shall be 5 feet. As required, the contractor must remove and reattach all attachments (including patio enclosure framing) to fascia and soffit removed, after fascia and soffit replacement. Paint replaced fascia and soffit, per the General Paint Specifications, to match existing.

- Special note: remove the birds and rodents nest from the attic.
- **Contractor must verify all trusses/rafters roof-to-wall hurricane tie down prior to roof removal. See the "provisional" work item below to install missing straps that wrap over the top of the trusses/rafters prior to completing the new roof system.**

04a) **PROVISIONAL INSTALL ROOF-TO-WALL HURRICANE TIE DOWN \$ 2,800**

Before completing the new roof system install missing roof-to-wall hurricane tie down with straps that wrap over the top of the trusses/rafters and/or with brackets. Contractor must provide Engineer Recommendation and Engineer Certification for this work item. This item requires a permit. Priority 2

- This work item applies to both the slope roof and the flat roof.
- Before performing this work item, contractor must provide proof of existing condition to Home Inspector.
- Please note contractors not expected to examine existing conditions prior to bidding. This work item assumes there are no roof-to-wall hurricane tie downs (or not properly installed), on both slope and flat roofs.
- If truss/rafter roof-to-wall hurricanes tie-downs do exist then the complete bid amount for this work item will be, deduct from contract amount.

05) INSTALL NEW GUTTER & DOWNSPOUT

\$ 800

Remove any existing gutters and downspouts. Install a new 6" seamless metal gutter and downspout system, on the entire eaves of the house except the patio enclosure area. The Homeowner will select color from standard stock colors. Install new 24" concrete splash blocks at downspouts. Install the splash block on a grade to discharging the water away from any foundation. Priority 4

05a) INSTALL NEW STRUCTURAL GUTTER & DOWNSPOUT SYSTEM \$ 3,400

LOCATION: PATIO ENCLOSURE AREA

Remove the screen pool enclosure framing from the house and temporarily prop it up for safety while work being completed. (If necessary, replace any rotten wood.) Install structural gutter system to the fascia. The Homeowner will select color from standard stock colors. Install new 24" concrete splash blocks at downspouts. Install the splash block on a grade to discharging the water away from any foundation (provide new soil and sod, as required). Priority 4

- Remove all non 2x wood fascia board in this area and replace with 2x wood fascia board. As required, patch the roof and replace the drip edge, to match the existing. Prime and paint the fascia board to match the existing adjacent areas.
- Adjust and reattach the pool enclosure framing and screening, to accommodate the structural gutter system, safely and securely to the wooden fascia. Replace any deteriorated or damaged framing members and screen panels related to this work item.

- Replace missing and damaged screen panels touching the structural gutter system: and the screen panels removed to accommodate this work item.

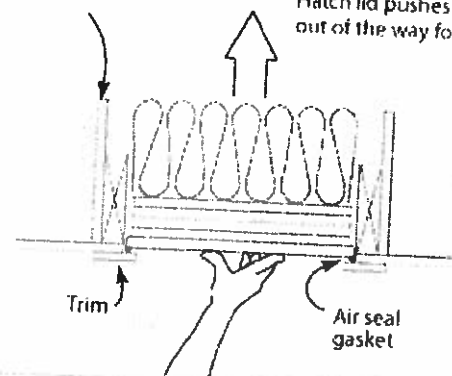
06) INSTALL ADDITIONAL ATTIC INSULATION TO R-30 LEVEL \$ 1,600

- Under the slope roof area, increase the existing attic insulation to R-30 value: blow-in insulation, loose-fill insulation and/or blanket insulation. Prevent the insulation from blocking soffit vents. Follow the electrical codes; keep insulation at least 3 inches from heat-producing fixtures, such as, recessed lights. When work is completed give Homeowner a certificate for an R-30 Insulated Attic.
- Box around the interior of the attic access scuttle hole (approximately 8" high insulation dam), to provide the insulation from falling inside the living area when the attic door is open.
- Replace the attic access door, with 1/2" AC plywood. Replace door trim. Match style of trim with existing casing/trim in the home. Make door panel fully functional and check framed opening, make the necessary repairs. Patch and paint door panel and trim and adjacent surfaces around access door opening to match existing. Laminate three (3) layers of R10 rigid foam insulation (or combination of rigid and batt insulation to get R30), and mount to the backside of the plywood door. Weather-strip the perimeter of the attic scuttle. Do not use foam tape weather-stripping.
- Special note: remove the birds and rodents nest from the attic.

SCUTTLE HOLE COVER

Insulation dams prevent loose fill insulation from falling through access

Hatch lid pushes up and out of the way for access



DOORS & WINDOWS**07) FRONT EXTERIOR DOOR WITH IMPACT GLASS**\$ 1,100NUMBER OF DOOR OPENING 1

Remove existing front door, jamb, casing, threshold, and haul these materials/debris away. Replace wood buck, if deteriorated or necessary, set buck in premium silicone sealant. Install the door and its components in strict compliance with the Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition. This item requires a permit. Priority 2

- Furnish and install new out-swing impact resistant metal exterior door, with 1/4-impact glass (top-lite, rectangle or half round), complete with jamb, casing, brick molding. Doors must be 1-3/4 inch solid core door.
- The new door shall fit within the existing masonry opening, per the product approval.
- Install panoramic peephole, aluminum weather-stripping saddle, weather-stripping, and spring/chain stop or doorstop. Discuss with the Homeowner the height of the peephole prior to installation.
- Install tamper proof hinges. The doorknob should be an entry-type, which can be locked by turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside, knob and deadbolt keyed alike. Install ANSI Grade 1 hardware.
- Countersink all exposed fasteners into frame, to conceal; fill with wood putty and sand smooth. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- If door and/or jamb are unfinished, apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer.
- Homeowner will select door style, color, finishes, glass and left or right hand door swing; Homeowner written approval is required. Replace door address numbering, if required.

08) MAIN BATHROOM - INSTALL FIBERGLASS EXTERIOR SIDE DOOR\$ 900NUMBER OF DOOR OPENING 1

Remove existing door, jamb, casing, threshold, and haul these materials/debris away. Replace wood buck, if deteriorated or necessary, set buck in premium silicone sealant. Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition. Install the door and its components in strict compliance with Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). This item requires a permit. Priority 4

- Furnish and install new out-swing impact resistant flush fiberglass exterior door complete with composite jamb, casing, brick molding. Doors must be 1-3/4 inch solid core door. NOTE THIS DOOR MAY NOT BE A STOCKED ITEM.
- Install aluminum weather-stripping saddle, weather-stripping and spring/chain stop, or doorstop (per Homeowner choice).
- Install tamper proof hinges. The doorknob should be an entry-type, which can be locked by turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside. Key the doorknob and deadbolt alike. Install ANSI Grade 1 hardware
- Countersink all exposed fasteners into frame, to conceal fill-in holes and provide a smooth finish. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- Apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. Homeowner will select color.

09) REPLACE ALL EXTERIOR WINDOWS WITH IMPACT WINDOWS \$ 8,100
APPROXIMATE NUMBER OF EXISTING WINDOWS 13 and NUMBER OF WINDOW OPENINGS 8

Remove existing windows and install, in the same configuration as the existing windows, new single hung and fixed impact replacement windows and standard factory tinted glass. All operable windows must have screens. Install windows and its components in strict compliance with Florida Building Code, Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE) including FBC Energy Conservation. Contractor is to provide required engineering. This item requires a permit. Priority 4

- The Contractors will verify measurements/dimensions and total number of openings for new windows.
- The new windows shall be colonial style, except kitchen windows. The new replacement windows can be aluminum, single hung, and/or fixed. Homeowner shall select color of frames and degree of tinted glass from the standard stock.
- The Homeowner must agree and sign-off on the final windows design, for each window openings install horizontal sliding windows, if required because of egress size restriction.
- Kitchen – windows configuration OXO
- Kitchen windows – build up base of window opening to sill height higher than the kitchen countertop. Explain to Homeowner and Homeowner must approve modified window opening.
- Kitchen window – install new marble sill.
- Install windows with low-solar-gain (low-E) glass, with NFRC Label: U-Factor ≤ 0.75 , Solar Heat Gain Coefficient (SHGC) ≤ 0.30 and Air Infiltration ≤ 0.30
- All exposed anchoring screws shall be the same color as the window frame.
- Install obscure glass in bathroom windows.
- Replace tiled, wood, cracked and damage windowsills with $\frac{1}{2}$ " marble sills; replace missing windowsills, except in the garage and bathroom.

- The windowsills must completely conceal the mullion clips. Replace any notched windowsills. Do not notch-out the windowsills and use a filler material to conceal the mullion clips.
- Replace wood buck, if deteriorated or necessary, set buck in caulk.
- Remove all previously installed shutters, awnings and attachment hardware including makeshift shutters.
- Repair/replace all damaged surfaces inside and out, caused by windows removal. Modifications or repairs/replacement work to, e.g., stucco, drywall, paint, caulk, and/or tile should match existing adjacent surfaces.
- Master bedroom – remove cement buildup under window, patch and paint one (1) wall from cut-line to cut-line.
- Family room – under the window, remove water damaged material, patch and paint one (1) wall from cut-line to cut-line. Insulate wall as required.
- Remove the manufacturers' stickers and residue on the glass after all final inspections.

10) INSTALL IMPACT PATIO DOORS WITH SCREEN PANELS

\$ 4,900

LOCATIONS: DINING ROOM, FAMILY ROOM

NUMBER OF DOOR OPENINGS 2

Remove existing sliding glass doors and frames. Within the same opening, install new impact sliding doors and frames with screen door panels; Homeowner shall select and confirm in writing the design, color of frames and degree of tinted glass from the standard stock. Install new hardware on doors. Remove all previously installed shutters and attachment hardware including makeshift shutters. Install the new impact patio doors with components in strict compliance with the Florida Building Code product approval (or Miami/Dade NOTICE OF ACCEPTANCE). Repair adjacent surfaces around door by stucco, painting, caulking, and/or tile to match existing. Haul away all debris from property at once. Explain to the Homeowner the height of the bottom sill prior to order the SGD. The Homeowner should acknowledge the sill height and approved the SGD in writing. This item requires a permit. Priority 2

- Install windows with low-solar-gain (low-E) glass, with NFRC Label: U-Factor ≤ 0.75 , Solar Heat Gain Coefficient (SHGC) ≤ 0.30 and Air Infiltration ≤ 0.30
- *Both panels are to be operable, configured as XX.*
- All exposed anchoring screws shall be the same color as the frame.
- Remove the manufacturers' stickers and any residue on the glass after all final inspections.

11) SOUTHWEST BEDROOM - INSTALL NEW INTERIOR DOOR AND FRAME

\$ 400

Remove existing interior door and frame. Replace 2x wood buck, if deteriorated or necessary. Haul away all debris from property at once. Within the same opening, install new same style interior wood door and frame having the same swing, as the existing door; paint or seal the door (6 sides) and frame, Homeowner to select color. Install new hardware on door and frame. Install door casing, trim, stucco, paint, caulk, and/or tile on adjacent surfaces around door opening to match existing. Priority 2

12) SOUTHWEST BEDROOM - INSTALL CLOSET DOORS

\$ 400

Remove the existing closet doors. Install new panel bi-pass or bi-fold closet doors and hardware. Paint and finish the doors (6 sides) and frame. The Homeowner will select the color and style. Adjust doors to function properly. Priority 5

13) INSTALL CLOSET DOORS

\$ 900

KITCHEN PANTRY - Remove existing accordion doors; Install new wood louver or panel bi-pass closet doors. Paint and finish doors (6 sides) and frame. Homeowner will select color and style. Adjust doors to function properly. Priority 5

AHU COMPARTMENT - in the utility room, install new wood louver or panel closet door to conceal the air-handling unit. This is a custom door. Paint and finish doors (6 sides) and frame. Homeowner will select color and style. Adjust doors to function properly. Priority 5

- Reconfigure the condensation line in order to install a door over the complete opening.

FINISHES

14) PAINT EXTERIOR SURFACE OF HOUSE AND PROVIDE THE MANUFACTURE EXTERIOR WARRANTY

\$ 3,400

Pressure clean masonry/stucco wall surfaces, pipes, doors, columns, slabs, enclosed patio deck, any exposed concrete area and walkway (including public sidewalk in front of property). Remove dry, shrunk deteriorated caulk. Cut away old gasket and/or sealants as needed. Remove existing caulk from all windows and doors. Clean all joint surfaces and prepare surfaces to receive new sealants. Install backer rods as necessary prior to caulking. Prime all joints as necessary. Apply and tool ZERO OR LOW VOC sealant to required configurations. Prepare surface, prime and paint. **Do not spray paint. Do not spray paint and back roll.** Tint the primer to the color selection. Paint all previous painted surfaces including: eave drip, fascia, soffit, doors (six sides), patio (walls and ceiling screened in or not), concrete slabs and walkways. Use the right product for the surface painted. Apply finish coat(s), test paint to determine proper number of coats for coverage. Protect adjacent areas while painting. **NOTE: contractor is responsible for protecting all flowers, shrubs, hedges, trees and ornamentals on site while painting and pressure cleaning.** Priority 5

- Refer to the 'Lead Based Paint Testing Report' provided by EE&G Environmental Services, LLC., dated June 14, 2010, bid accordingly. **The results of this report indicate lead in the amount greater than or equal to 1.0 mg/cm(2) in paint was found on building components. Bid accordingly.**
- Homeowner will select a maximum of three colors.
- Replace all loose and missing stucco siding. Repair the stucco siding with the same finish and thickness as the existing. Patch and seal cracks with elastomeric caulking material.
- Excessive bleeding in wood members must be spot primed before application of first coat.

- Apply the proper uniform mil-thickness of paint for moisture protection and warranty. Do not spray paint; roller and brush application only. All work must be free of runs, sags, defective brushing or rolling.
- Material allowance for paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO OR LOW VOC 100% acrylic products, e.g., **Sherwin Williams or an approved equal. Housing Inspector to verify brand and VOC level.**
- Upon completion, contractor must provide the Homeowner a list of all paint code numbers per locations. **Additional paint shall left to Homeowner for future use.**
- Upon completion of the project, the contractor must provide a manufacture warranty (not the paint label warranty). The manufacture representative must inspect, approve and sign-off on the exterior painting.
- Install approved address numbers placed in a position to be plainly visible from the street or road fronting the property. The residential buildings numbers shall be at least four inches tall and one-half inch wide.

15) INSTALL FLOOR TILE AND NEW WOOD BASEBOARD \$ 5,900
LOCATIONS: LIVING ROOM, DINING ROOM, NORTHWEST BEDROOM, SOUTHWEST BEDROOM, HALLWAY, KITCHEN, MASTER BEDROOM

Tile floor - Remove any existing flooring and install new ceramic floor tiles. Include closet area. Check resulting floor height for smooth transitions to adjacent floor/room. Homeowner is to select tile colors and sizes. Material allowance including sales tax is \$2.00 per square foot for floor tile; this does not include the appropriate trim and finishing materials. Priority 5

- Install the floor tiles neatly under the doorjamb and casings.
- Inspect sub-floor and make repairs that will assure it provides a solid, stable condition.

Wood baseboard - Remove any existing baseboard and install new wood baseboard, include closet. Caulk, patch and paint new wood baseboard. Homeowner will select colors and design. Material allowance including sales tax is \$1.30 per linear foot. Discuss with the Homeowner prior to the repair work variations in the colors and design. Priority 5

EQUIPMENT

16) KITCHEN - REPLACE REFRIGERATOR

\$ 1,300

Remove any existing refrigerator and haul away all debris from property at once. Install new ENERGY STAR rated Refrigerator and labeled accordingly. If required, install a new or repair the existing water supply line to the new refrigerator. Conceal the water line. Homeowner will select refrigerator and color within material budgeted the amount. Follow manufacturer installations for the proper installation. Appliance allowance including sales tax is \$1000.00. Priority 2

17) KITCHEN - REPLACE ELECTRIC STOVE AND RANGE HOOD \$ 1,500

Remove existing stove and range hood. Haul away all debris from property at once. Install a new Traditional 30" Free Standing Electric Range with self-cleaning oven and range hood. Homeowner will select appliance(s) and color within the material budgeted amount. Follow manufacturer installations for the proper installation. Appliance allowance including sales tax is \$1000.00 including range hood. Priority 2

- Install a new under wall cabinet range hood, exhausting to the exterior. Both the exhaust fan and the termination cap are to have built-in back draft dampers. Patch any ceiling, walls and termination openings relating to this work item.
- The range hood exhaust fan should be rated for continuous ventilation and ENERGY STAR qualified and labeled accordingly; capable of moving the required cfm at no more than 1.5 sones.
 - Proper cfm for range hood calculation:
 - BTU's for all stove top burners divided by 100
 - Total BTU's/100 = CFM
 - For electric range, convert top burners watts to BTU's then
 - Total BTU's/100 = CFM
- Provide verification of sone rating and cfm of air movement to the Housing Inspector.
- Within the kitchen, conceal all ductwork (inside and outside the cabinet) with the same material and finish as the wall cabinets.

18) KITCHEN - REPLACE GARBAGE DISPOSER AND DRAIN \$ 400

Under the kitchen sink, install a new ¾-horsepower garbage disposer; use new disposer's mounting hardware and drain assembly. Appliance allowance not including sales tax is \$100.00. Modify any electric to accommodate the new garbage disposer. This item requires a permit. Priority 5

SPECIAL CONSTRUCTION

19) EXTEND THE EXTERIOR CONDENSATION LINE \$ 25.00

Extend the exposed exterior portion of the air-handler condensation line to drain away from the house. The maximum budget amount for this work item is \$25.00 (for all labor and material). Priority 5

20) BLOCK-IN GARAGE DOOR OPENING, INSTALL EXTERIOR DOOR DRYWALL INTERIOR WALL AND STUCCO EXTERIOR WALL \$ 8,100

LOCATION: OVERHEAD GARAGE DOOR OPENING (ONE WALL ONLY)

The intent of this work item: to remove the existing wall material and exterior door that is covering the overhead garage door opening. Block-in the overhead garage door opening with concrete masonry units and within the same opening provide an exterior masonry door opening for a new 3'x7' six-panel fiberglass door. Contractor to provide all required engineering. This item requires a permit.

Demolition

- Remove the existing wall material and door/frame.
- Excavate underneath the opening to provide the required foundation.
- Haul away all debris from property at once.

Reconstruction

- Provide the required foundation, per FBC.
- Using concrete masonry units, infill the garage door opening, and provide a masonry opening for a 3'x7' exterior door. The new wall thickness including its components (drywall, framing, concrete blocks and stucco) must be the same thickness as the adjacent wall.
- Install furring strips and R4.2 wall insulation inside the room.
- Install 5/8" drywall inside the room only on the infill wall. Provide a smooth finish and paint.
- Stucco – on exterior, install stucco (scratch coat, brown coat and finish coat). Match the existing house exterior finish, there must be no signs of a patched infill area. Discuss (with Homeowner) the new finish, prior to beginning the work. Seal and paint stucco area.
- Contractor to provide all required engineering.
- Exterior door - Furnish and install new out-swing impact resistant flush fiberglass exterior door complete with composite jamb, casing, molding. Doors must be 1-3/4 inch solid core door. Install the door and its components in strict compliance with Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). Install tamper proof hinges. The doorknob should be an entry-type, which can be locked by turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside. Key the doorknob and deadbolt alike. Install ANSI Grade 1 hardware. Countersink all exposed fasteners into frame, to conceal fill-in holes and provide a smooth finish. Alternatively, completely conceal behind the weather-stripping, per Product Approval. Apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. Homeowner will select color.

21) UTILITY ROOM - REMOVE THROUGH-THE-WALL AIR CONDITION UNIT AND PATCH AND PAINT INTERIOR OF UTILITY ROOM

\$ 800

Remove old through-the-wall air unit. Close off the opening with concrete blocks. Apply stucco patch on the exterior matching the adjacent surface in texture and thickness, concealing the patched opening. Install exterior wall R4.2 insulation. Haul away all debris from property at once. Priority 3

- Interior - patch and paint the walls and ceiling, include all reachable areas in the AHU closet. Patch repairs the interior wall material to match the existing adjacent surfaces.
- Exterior – spot paint patched area. Please note exterior of house painted under another work item.
- Paint per the General Paint Specifications.

22) MAIN BATHROOM – RE-GROUT AND CAULK TUB ENCLOSURE \$ 200

Remove all loose grout; scrap all grout lines. Take out all caulking. Re-grout shower area around tub. Match the color of existing grout. Apply caulk around base of shower enclosure bathtub. Do not caulk wall corners. Priority 5

23) PATIO - REPLACE MISSING PATIO SCREEN PANEL AND DAMAGE FRAMING MEMBERS AND SCREEN SWING DOOR \$ 2,300

Remove damaged, deteriorated aluminum/metal framing members and dissimilar metals and fasteners. Remove damaged screen sections and spline. Replace the damaged frame member with new extruded aluminum framing members, mill finished or covered with an enamel finish (matching the existing if partial replacement or the Homeowner to select finish). Haul away all debris from property at once. Permit is required for any structural work; permit is not required for screen replacement only. Priority 5

- Install new screen fabric and vinyl spline, to replace the removed and missing screen. New screen fabric shall match the existing screen fabric.
- Remove existing patio screen swing-door and aluminum framing members around the door. Within the same opening, install new out heavy-duty patio screen swing-door and aluminum framing members around the door, color to match existing. Install new hardware on door.
- Note, replace or stretch all sagging and loosely fitting screen panel.

PLUMBING

24) KITCHEN - REPLACE SINK, FAUCET, SUPPLY AND DRAIN LINES \$ 900

Remove and replace existing kitchen double bowl sink, faucet and drain assembly (under sink). Haul away debris from property at once. Install new double bowl sink, 9" deep, minimum 20-gauge stainless steel; allowance including sales tax for the sink is \$300. Install a new label Water-Efficient faucet with or without sprayer; allowance including sales tax for the faucet is \$200 (see warranty information below). The Homeowner must sign off on the sink and faucet design (not including the drain assembly). Install new supply tubes. Install new shut off valves. Install new drain assembly (under sink). Place escutcheon plates at all plumbing and electrical opening through the cabinet or wall. This item requires a permit. Priority 5

- Provide connection for new garbage disposer.
- Provide faucet with manufacturer lifetime limited warranty to be leak and drip free, and free of defects in material and workmanship.
- Homeowner will supply the dishwasher; Contractor to install and supply miscellaneous fittings.

25) MAIN BATHROOM - REPLACE SHOWER DIVERter/TUB FIXTURE \$ 775

Remove existing tub/shower diverters/showerhead, tub spout and haul away all debris from property at once. This item requires a permit. Priority 3

- Do not remove the tub.
- Remove the first four rows of tiles above the tub and backer board. Repair or reinforce damage framing members before installing new wall surfaces.
- Install new faucets/fixtures. Acceptable designs are lever-operated, push-type or touch-type, pressure balanced and anti-scald. Controls and operating mechanisms will be operable with one hand and should not require tight grasping, pinching, or twisting of the wrist. Material allowance including sales tax of \$175.00 for bath and shower trim kit. Homeowner to select new tub/shower fixture within the budget.
- Install tub spout and tub drain.
- Install shut-off valves, if missing.
- Secure showerhead. Showerhead must be WaterSense labeled, using no more than 2.0 gallons of water per minute.
- There is no rear access panel; therefore, the adjacent room wall may require removal and replacement, to perform the repair work. Patch and repair effected areas associated with this work item to match the existing adjacent surfaces.

26) MAIN BATHROOM - INSTALL TOILET ADA COMPLIANT

\$ 600

Remove toilet and install a new toilet with toilet seat. Discuss with the Homeowner, regular elongated, compact elongated or round toilet design and color for their selection of replacement. The toilet bowl height should stand at 17" or higher, ADA compliant. Install a new toilet listed in the U.S. Environmental Protection Agency's (EPA) WaterSense® program, which has the WaterSense label of approval for using no more than 1.28 gallons per flush. Install new supply tube(s), escutcheon(s) and shut off valve(s). This item requires a permit. Priority 3

- The new toilet must have a minimum 2-1/8-inches fully glazed trap way (outlet).
- Contractor must determine the correct toilet rough-in measurements prior to bidding.



27) MAIN BATHROOM - INSTALL SINK, FIXTURE AND VANITY

\$ 1,700

Remove and replace the vanity and sink/countertop. Haul away all debris from property at once. The new vanity and countertop shall have the same dimensions as the existing. Discuss the vanity cabinet, storage amenities with Homeowner, prior to purchasing the vanity and top. The Homeowner will select these amenities from standard stock. This item requires a permit. Priority 2

- After vanity, removal, patch and prime the walls concealed by the vanity and back splash; patch and finish paint all exposed walls behind the vanity. All exposed walls under vanity must have a finished appearance.
- The new vanity shall be plywood or solid wood including the doors, no particleboard. **CONTRACTOR is responsible for verifying all cabinetry material with Housing Inspector.**
- The sink (cultured marble sink) shall be form as an integral part of the countertop or a set-in sink with new standard Formica countertop on veneered exterior grade plywood or approved equal. Homeowner will select color and style for the cabinet, and sink/countertop from standard stock colors.

- Install a new faucet listed in the U.S. Environmental Protection Agency's (EPA) WaterSense® program. Install shut-off valves, if valves are missing. Acceptable faucet designs are lever-operated, push-type controlled mechanisms, discuss with the Homeowner. Controls and operating mechanisms will be operable with one hand and should not require tight grasping, pinching, or twisting of the wrist; allowance including sales tax for the faucet is \$120.
- Provide faucet with manufacturer lifetime limited warranty to be leak and drip free, and free of defects in material and workmanship.
- Install new supply tubes. Install new drain assembly for the sink. Install shut off valves.
- Place escutcheon plates at all plumbing and electrical opening through the cabinet or wall.



28) MASTER BATHROOM - INSTALL TOILET ADA COMPLIANT

\$ 600

Remove toilet and install a new toilet with toilet seat. Discuss with the Homeowner, regular elongated, compact elongated or round toilet design and color for their selection of replacement. The toilet bowl height should stand at 17" or higher, ADA compliant. Install a new toilet listed in the U.S. Environmental Protection Agency's (EPA) WaterSense® program, which has the WaterSense label of approval for using no more than 1.28 gallons per flush. Install new supply tube(s), escutcheon(s) and shut off valve(s). This item requires a permit. Priority 3



- The new toilet must have a minimum 2-1/8-inches fully glazed trap way (outlet).
- Contractor must determine the correct toilet rough-in measurements prior to bidding.

29) MASTER BATHROOM - INSTALL 36" HIGH VANITY, SINK AND FIXTURE

\$ 1600

Remove and replace the vanity and sink/countertop. Haul away all debris from property at once. The new vanity and countertop height shall be 36" and as wide as possible. Discuss the vanity cabinet, storage amenities with Homeowner, prior to purchasing the vanity and top. The Homeowner will select these amenities from standard stock. This item requires a permit. Priority 2

- After vanity removal, patch and prime the walls concealed by the vanity and back splash; patch and finish paint all exposed walls behind the vanity. All exposed walls under vanity must have a finished appearance.
- The new vanity shall be plywood or solid wood including the doors, no particleboard. **CONTRACTOR is responsible for verifying all cabinetry material with Housing Inspector.**
- The sink (cultured marble sink) shall be form as an integral part of the countertop or a set-in sink with new standard Formica countertop on veneered exterior grade plywood or approved equal. Homeowner will select color and style for the cabinet, and sink/countertop from standard stock colors.
- The new faucet must be listed in the U.S. Environmental Protection Agency's (EPA) WaterSense® program. Install shut-off valves, if valves are missing. Acceptable faucet designs are lever-operated, push-type controlled mechanisms, discuss with the Homeowner. Controls and operating mechanisms will be operable with one hand and should not require tight grasping, pinching, or twisting of the wrist; allowance including sales tax for the faucet is \$120.



- Install new supply tubes. Install new drain assembly for the sink. Install shut off valves.
- Place escutcheon plates at all plumbing and electrical opening through the cabinet or wall.

30) MASTER BATHROOM - SHOWER PAN AND SHOWERHEAD \$ 2,900

Remove existing shower base, and remove wall tiles (just enough to replace the shower pan), and sub wall material to accommodate the new installation. The shower floor elevation should not be lower than the bathroom floor elevation. Install 2x-lumber in the shower alcove for the curb and blocking in the stud bays.

Using a "pre pitch shower system", install a pre pan with floor mortar over galvanized metal lath; forming a 1/4" in every 12" sloped of shower floor.

Install a sheet of CPE waterproof membrane and test for water leaks overnight. Install cement-board on the alcove walls. Properly install floor mortar and metal lath over the CPE membrane, including the curb. Protect the drain weep holes from plugging with mortar. Homeowner is to select tile colors and sizes within a material budget of \$3.00 per square foot for the floor and wall tiles only; this does not include the appropriate trim and finishing materials. This item requires a permit. Priority 3

- Install new tiled shower base, adjusted floor drain. Install floor tiles (on the curb, establish a 1/8" slope so water drains back into the shower).
- Install wall tiles to the same height as the existing as removed, match as close as possible or Homeowner can select a new tile. Homeowner shall agree upon the matching tile prior to installation.
- Install new adjustable showerhead (only). Discuss spray pattern with Homeowner prior to purchasing, for their selection of replacement. **Showerhead must be WaterSense labeled, using no more than 2.0 gallons of water per minute.**

31) UTILITY ROOM - INSTALL OVERFLOW PIPING TO HOT WATER TANK \$ 500

Properly install the overflow piping to the existing hot water tank. Do not replace the hot water tank. Provide new pressure-relief valve with overflow tube and catch pan and/or pipe to the exterior, follow FBC. Installation must comply with manufacture specifications. These items may require a permit. Priority 3

- Any modifications or repairs work to stucco, drywall, paint, caulk, and/or tile, etc should match existing adjacent surfaces.

MECHANICAL
(SEE ADDITIONAL MECHANICAL EXHAUST DUCTWORK UNDER EQUIPMENT DIVISION ABOVE
AND ELECTRICAL DIVISION BELOW)

32) MASTER BATHROOM - INSTALL NEW SUPPLY AIR SYSTEM \$ 900

Install new supply air ducting and new grilles to master bathroom. Do not install air grilles in the wall. Modifications or repairs work to the ceiling should match the existing adjacent surfaces. Paint the affected area, from cut-line to cut-line. These items require a permit. Priority 3

ELECTRICAL
(SEE ADDITIONAL ELECTRICAL WORK UNDER KITCHEN CABINETS WORK ABOVE)

33) INSTALL CEILING FAN WITH LIGHT

\$ 2,400

LOCATIONS: LIVING ROOM, KITCHEN, NORTHWEST BEDROOM, SOUTHWEST BEDROOM, MASTER BEDROOM

Install new ceiling fan with light as manufactured by Hunter Douglas or approved equal. Homeowner to select ceiling fan: material allowance including sales tax is \$150.00 per fixture, ENERGY STAR qualified and labeled accordingly. Conceal all wiring, no surface mounted molding. Install junction box and ceiling support, as required for the installations. Repair walls and ceilings as required, matching the adjacent surfaces. This item requires a permit. Priority 3

- Install on/off wall switches with wiring to control the fan speed and light separately.

34) INSTALL HUMIDITY CONTROL EXHAUST FAN AND LIGHT

\$ 1,200

LOCATIONS: MAIN BATHROOM and MASTER BATHROOM

Remove the existing exhaust fan. Install a new bathroom exhaust ceiling fan (venting to the exterior) with built-in light; ENERGY STAR® qualified and labeled accordingly. Install an exhaust fan with humidity control to automatically turn fan on based upon adjustable humidity set point. An acceptable exhaust fan with light is BROAN model QTXE***SFLT or approved equal. Install ductwork to the exterior. Both exhaust fan and the termination cap are to have built-in back draft dampers. Operate the fan by a separate delay timer switch. The exhaust fan should have a noise rating of 0.3-1.5 sone. Verify the cubic feet per minute (cfm) of air movement required for the new fan.

- Wall and ceiling fans CFM calculations based upon the room size:
 - Cubic feet times .13 factor
 - CF x .13 = CFM

Provide verification of sone rating and cfm of air movement upon completion to Housing Inspector. Patch any ceiling or roof opening relating to this work item. Homeowner may select an CRA approved equal, exhaust ceiling fan with built-in light within the material budget amount, including sales tax. This item requires a permit. Priority 3

35) ELECTRIC UPGRADE INCLUDING SERVICE AND PANEL

\$ 7,300

Existing electrical service is inadequate for the size of the house and the amount of appliances currently serviced; increase the amperage to supply house demands. Relocate, as required, and upgrade new service and panel per Florida Building Code (FBC) and National Electrical Code (NEC). This item requires a permit. Priority 3

- Coordinate electrical service with Florida Power and Light Company.

- Separate and balance the existing circuits. Clearly label all circuits in the panel box with a minimum of two (2) full size spare circuit breakers.
- Utility room – conceal wiring to existing ceiling light fixture and install new wall switch to control light.
- Utility room - add one (1) duplex receptacle, see Homeowner for exact location
- Storage room (formerly garage) - add two (2) duplex receptacles, see Homeowner for exact location
- Provide and install tamper proof GFCI Receptacles and/or GFCI Circuit Breakers for the bathrooms, kitchen, all outside receptacles and non-grounded receptacles.
- Replace any switches, cover plates, receptacles, GFCI's that are damaged, malfunctioned, painted over and/or missing. Replace exposed damaged electrical connections, conduit and wiring. The new receptacles should be modern polarized, grounded tamper proof receptacles. Check the amperage rating of circuits and use receptacles with the correct ratings.
- Remove abandon electrical wiring, connections and conduit.
- Provide a 4-prong receptacle with the required wiring and power cord for the electric cloth dryer.
- Provide code required single receptacle for the washer and refrigerator.
- Provide a dedicated 20 amps outlet and wiring over the kitchen range/stove.
- Install smoke alarm (and/or combination smoke/carbon monoxide alarms as required by code), all hard wired and interconnected, with battery backup, in each bedroom and in the hallway or area outside the bedroom(s) and in the storage room and any other area as required per code; inasmuch as, follow the FBC and NEC requirements for placement of the alarm on the walls, ceiling and location within the home.
- Correct any air conditioner electrical code violation.
- Provide attic access light fixture and switch, if required or missing.
- Patch and paint any effected areas associated with this work item to match the existing adjacent surfaces (including where an existing smoke detectors were removed), paint from cut-line to cut-line.

TOTAL BASE BID: \$ 99,000

JUL 23 PM 4:29

AGREEMENT

I/We agree that each item in these specifications has been discussed in my/our presence and I/we understand the contents. It is further agreed that any additional code or incipient (that is becoming apparent) violations that may occur during the construction period should be addressed by deleting a non-code related item(s), which are called General Property Improvements. By our attested signature(s), I/we agree to abide by these conditions.

HOMEOWNER ACKNOWLEDGEMENT AND ACCEPTANCE OF SCOPE OF WORK

HOMEOWNER #1 SIGNATURE: _____

HOMEOWNER #1 PRINTED NAME: _____

DATE: _____

HOMEOWNER #2 SIGNATURE: _____

HOMEOWNER #2 PRINTED NAME: _____

DATE: _____

HOME INSPECTOR SIGNATURE: _____

HOME INSPECTOR PRINTED NAME: _____

DATE: _____

HOME INSPECTOR'S NOTES: _____

CONTRACTOR'S SIGNATURE FOR SUBMISSION OF BID

CONTRACTOR SIGNATURE: _____

CONTRACTOR PRINTED NAME: _____

DATE: _____

COMPANY NAME: _____

TELEPHONE: _____

FINAL ACCEPTANCE OF SCOPE OF WORK (CONTRACTOR AND HOMEOWNER)

HOMEOWNER #1 SIGNATURE: _____

HOMEOWNER #1 PRINTED NAME: _____

DATE: _____

HOMEOWNER #2 SIGNATURE: _____

HOMEOWNER #2 PRINTED NAME: _____

DATE: _____

CONTRACTOR NAME: _____

CONTRACTOR SIGNATURE: _____

DATE: _____

ADDENDUM NO. 1

CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME
HOME REPAIR/IMPROVEMENT PROGRAM
Request Quotation No.: M93614

July 17, 2014

TO: ALL PROSPECTIVE BIDDERS

FROM: William La'Marr Ruffin, 954-709-0471 and 954-533-8952 Fax

PROJECT SITE: Ilene Spence
6771 Pansy Drive
Miramar, FL 33023

PLEASE NOTE THE FOLLOWING CHANGES:

- 1) Closing Date for Request Quotation No. **M93614** on **JULY 23, 2014** is unchanged.
- 2) Replace pages 8, 9, 14, 16, 17 and 23 with revised pages 8, 9, 14, 16, 17 and 23 dated July 17, 2014. The changes were:

On page 8 and 9, replace line Item 03.
On page 14, replace line Item 10.
On page 16, replace line Item 15.
On page 17, replace line Item 19.
On page 23, replace line Item 34.

This addendum should be acknowledged on the Request Quotation Form and/or returned with your Request Form, due, **JULY 23, 2014** at 4:00 PM.

All other terms, conditions and specifications remain unchanged.

NAME OF COMPANY: JAMES JOYCE CONST. CORP.

AUTHORIZED SIGNATURE: [Signature]

JUL 23 PM 4:30



Notification & Acknowledgement of Waste Management Service

The Contractor is hereby notified that Waste Pro is the City's official waste management provider and must be used for all waste disposal activities related to this project. For assistance, call (954) 967-4200.

Project/Development Name: SPENCE

Contractor Company Name: JAMES JOYCE CONST. CORP.

Contractor Acknowledgement JAMES JOYCE / President
Print Name/Title

[Signature]
Signature

Date: 7/21/14

SPECIFICATIONS FOR WORK

**CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME
HOME REPAIR/ IMPROVEMENT PROGRAM
MARCH 16, 2018**

PROPERTY OWNER: Ilene Spence
6771 Pansy Drive
Miramar, FL 33023

HOME TELEPHONE: 954-559-7392

LEGAL DESCRIPTION: MIRAMAR ISLES SEC 5 61-46 B LOT 28 BLK 19

JOB NUMBER: M19016

GENERAL SPECIFICATIONS

The Contractor shall perform the services with the standard of skill, care and due diligence, which a competent and suitable qualified person performing such services would reasonably be expected to exercise, and in accordance with the Work Specifications. The work shall be performed in a "Workman Like Manner." Contractor to include cost of services of any licensed professional, if necessary, in procuring permits for the work.

To the fullest extent permitted by law, the Contractor shall indemnify, defend and hold harmless the owner and the City and its agents and employees, from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of the work or providing of materials to the extent caused in whole or in part by negligent or wrongful acts or omissions of, or a breach of this agreement by, the contractor, a subcontractor, anyone directly or indirectly employed by them or anyone whose acts they are legally responsible.

The Contractor certifies that the location of the proposed work has been examined, as necessary to fully understand the nature of the obligation. The Contractor is responsible for measurements. The work should be complete in the time limit(s) specified and in accordance with the plans and Work Specifications.

The Contractor must pull the permit within thirty (30) days of the issuance of the Notice to Proceed. Construction work must begin within forty-five (45) days from the date of the Building Permit issuance and shall be carried out at a rate that insures its full completion no later than one hundred and twenty (120) days from the date of the issuance of the Notice to Proceed.

The Contractor shall provide all necessary materials, equipment and personnel who have the appropriate qualifications and experience to undertake the scope of the Work Specifications.

The Contractor agrees to provide a one (1) year warranty for all work performed under these specifications. This will include all labor and materials. If certain items require different warranty periods, these items will be cited in the individual specifications.

All work performed under these specifications must be done in compliance with the local City Ordinance and within the interpretation of the Florida Building Code. Attempts were made to identify the required permits, per line items cited below. However, it is the Contractor's responsibility to identify and pull all required permits.

All applicable State and Federal Statutes must be followed (i.e. Davis Bacon, Child Labor Laws etc.). Failure to comply with general conditions may result in suspension or removal from the program.

There can be no verbal agreements between the Contractor and Homeowner.

Each of the Parties (by notice) in writing to the other can request a modification(s) to the requirement(s) cited in the Work Specifications should such modification(s) (at any time) become necessary due to Code requirements or unforeseen conditions/circumstances. In the event of any such modifications, the payment or credit for these (documented) changes may be subject to fair and reasonable adjustment(s) agreed upon between the City agent and the Contractor; these payment or credit adjustment(s) will be recorded in writing, by way of Change Order.

Change Orders - The Contractor's written proposal for change order shall be submitted in the form of a lump sum proposal supported with an itemized breakdown of all increases and decreases in the contract in at least the following details:

- (1) Direct Costs. Materials (list individual items, the quantity and unit cost of each, and the aggregate cost); Transportation and delivery costs associated with materials; Labor breakdowns by hours or unit costs (identified with specific work to be performed); Construction equipment exclusively necessary for the change; Costs of preparation and/ or revision to permits resulting from the change; Worker's Compensation and Liability Insurance; Employment taxes under FICA and FUTA.
- (2) Indirect Costs. Indirect costs may include overhead, general and administrative expenses, and fringe benefits not normally treated as direct costs.
- (3) Profit. The amount of profit shall be negotiated and may vary according to the nature, extent, and complexity of the work required by the change. The allow ability of the direct and indirect costs shall be determined in accordance with the Contract Cost Principles and Procedures in Part 31 of the Federal Acquisition Regulation (48 CFR 1-31), as implemented by HUD Handbook 2210.18, in effect on the date of this contract. The Contractor shall not be allowed a profit on the profit received by any subcontractor. Equitable adjustments for deleted work shall include a credit for profit and may include a credit for indirect costs. On proposals covering both increases and decreases in the amount of the contract, the application of indirect costs and profit shall be on the net-change in direct costs for the Contractor or subcontractor performing the work.
- (4) The Contractor shall include in the proposal its request for time extension (if any), and shall include sufficient information and dates to demonstrate whether and to what extent the change will delay the completion of the contract in its entirety.

Except in an emergency endangering life or property, no change shall be made by the Contractor without a prior order from the Contracting Officer.

If there are conflicts between the Homeowner and the Contractor, the requirements cited in the Work Specifications shall prevail. Exception: Contractor and Homeowner must receive written approval from the Homeowner Association or Condo Association and/or Property Manager for all work items.

The Contractor acknowledges that the agent of the City shall perform pre and post inspections of all work performed. Final and full payment for all work completed pursuant to the Work Specifications (as amended/modified, if applicable) shall be made upon completion of all inspection(s) required by the program and the work has been deemed satisfactory.

The invoice for work satisfactorily completed must be submitted to the City agents and shall include the following documents at a minimum;

1. Invoice with invoice numbers (#)
2. Amount of invoice must match the signed proposal and signed Change Order(s), if applicable.
3. Homeowner's signature stipulating work satisfaction and completion
4. Contractor Release of Liens and each Sub-contractor Release of Liens
5. Copies of all required Permits, signed off and approved.
6. Warranty for work performed.

Homeowner shall provide the Contractor access to the property; Monday thru Saturday between 8am and 6pm. Homeowner shall provide the water and electric services necessary to accomplish this work.

If at any point in the following Specifications a "maximum retail price or material allowance" is quoted for an item to be installed, the Homeowner will be responsible for selecting and approving this item within the quoted price range. The Contractor must have written acceptance from the Homeowner, prior to the installation of this product. All material allowance includes sales tax.

It is the Homeowner responsibility to remove and replace all personal property to facilitate the performance of the work. This includes, but is not limited to rugs, furniture, antennas and alarm system.

Contractor shall repair/relocate any phone wires that are affected by this work, Homeowner responsible for all TV cables or satellite wiring.

All exterior and interior walls, ceilings, doors and trim paint will be the responsibility of the Homeowner unless otherwise stated in individual specification.

Lead Based Paint Testing Report was emailed to each contractor attending the Pre-Bid Conference: by signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

SECTION 3 CLAUSE AND PROVISIONS

1. "Section 3" Compliance in the Provision of Training, Employment and Business Opportunities

(A) The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

(B) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.

(C) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

(D) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

(E) The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

(F) Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(G) With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible

(H) Preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

SECTION 3 STATEMENT OF COMPLIANCE**TRAINING, EMPLOYMENT, AND CONTRACTING OPPORTUNITIES FOR BUSINESS AND LOWER INCOME PERSONS**

A. The project assisted under this (contract) (agreement) is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S. C. 70U. Section 3 requires that to the greatest extent feasible opportunities for training and employment be given to lower income residents of the project area and contracts for work in connection with the project be awarded to business concerns which are located in or owned in substantial part by persons residing in the area of the project.

B. Notwithstanding any other provision of this (contract) (agreement), the (applicant) (recipient) shall carry out the provisions of said Section 3 and the regulations issued pursuant thereto by the Secretary set forth in 24 CFR Part 135 (published in 38 Federal Register 29220, October 23, 1973), and all applicable rules and orders of the Secretary issued there under prior to the execution of this (contract) (agreement). The requirements of said regulations include but are not limited to development and implementation of an affirmative action plan for utilizing business concerns located within or owned in substantial part by persons residing in the area of the project; the making of a good faith effort, as defined by the regulation, to provide training, employment and business opportunities required by Section 3; and incorporation of the "Section 3 Clause" specified by Section 135.20 (b) of the regulations in all contracts for work in connection with the project. The (applicant) (recipient) certifies and agrees that it is under no contractual or other disability which would prevent it from complying with these requirements.

C. Compliance with the provision of Section 3, the regulations set forth in 24 CFR Part 135, and all applicable rules and orders of the Secretary issued thereunder prior to approval by the City of the application for this (contract) (agreement), shall be a condition of the Federal financial assistance provided to the project, binding upon the (applicant) (recipient), its successors and assigns. Failure to fulfill these requirements shall subject the (applicant) (recipient), its contractors and subcontractors, its successors, and assigns to the sanctions specified by the (contract) (agreement), and to such sanctions as are specified by 24 CFR Section 135.

Name of Contractor: Reliant Construction Group

Title of RFP or Spec: Ilene Spence

Spec # or RFP # or Purchase Order Bid No M19016

Will you hire new employees as a result of this contract? Yes [] No [☒]

Contractor: Ron Augustin

Contractor's Signature and Title  Date: 3/21/18

GENERAL REQUIREMENTS**LEAD REPORT**

As part of these specifications, a 'Lead-Based Paint Testing Report' provided by EE&G Environmental Services, LLC., Project No. 2009-2207 LBP, dated March 17, 2014, was e-mailed to all contractors attending the Pre-Bid Meeting and signed the sign-in sheet. By signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

GENERAL PAINT SPECIFICATIONS

Unpainted materials require priming and two coats of paint. Tint the primer per color selection. Previous paint surface should receive two coats of paint. All stains should be spot-primed before painting. Unless otherwise mentioned in the specifications, all paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO VOC products, for interior paint and ZERO OR LOW VOC 100% acrylic products, for exterior paint. Acceptable paint manufacturers (unless specified in the line item) are Benjamin Moore, Sherwin Williams, Glidden/ICI, PPG, Olympic, Valspar or approved equal. Housing Inspector shall verify brand and VOC level. The Homeowner is to select all colors and confirmed in writing. Upon completion, contractor must provide the Homeowner a list of all paint code numbers per rooms and locations, for later color matching.

CLEAN UP

Contractor agrees to keep the property clean and orderly during the course of the work and to remove all materials, debris, equipment and machinery at the completion of the workday. Clean interior and exterior work in a professional, workmanship type manner with all O.S.H.A. safety laws and rules observed.

- Remove all debris daily and broom clean the worksite at all times.
- Contractor shall not use residential bulk and regular trash pickup system to remove construction debris.
- City's official waste management providers must be used for all waste disposal activities for this project:

Waste Pro USA
17302 Pines Boulevard
Pembroke Pines, FL 33029
(954) 967-4200
(954) 241-4489

- Cover and protect the furniture and all surfaces from construction dust.
- All related construction items removed will become the property of the Contractor, unless a prior agreement is reached (in writing) with Homeowner.

PERMITS AND MISCELLANEOUS FEES

The City of Miramar permit fees waived with the "Affordable Housing Stamp" and a letter requesting a waiver, obtained at Community Redevelopment Association of Florida Inc., 8569 Pines Boulevard, Suite 201, Pembroke Pines, FL 33024. All permits, inspections, process fees, impact fees, miscellaneous fees, Notice of Commencement, engineering or survey required to complete the following tasks shall be the responsibility of the Contractor.

- For the Home Inspector, the contractor must have on site the complete permit package for all trades (permit cards, applications, drawings, etc.).
- Upon completion of the work specifications, the Contractor must completely fill-out, the Homeowner supplied, Uniform Mitigation Verification Inspection Form, include supplying pictures and performing research to determine permit history and year house built.

SITE CONSTRUCTION**01) TERMITE TREATMENT**\$ 1500

Perform tent fumigation for exterminating Dry-wood Termites by a licensed pest control company using VIKANE gas fumigant. The Contractor shall schedule the treatment between Homeowner and exterminating company. Homeowner must vacate the premises prior to and after the treatment as directed by the exterminating company. The Contractor must furnish an inspection/treatment report after the fumigation and a warranty from the pest control company.

WOOD & PLASTICS**02) KITCHEN - REPLACE CABINETS AND COUNTERTOP****INSTALL ELECTRICAL RECEPTACLES****PATCH AND PAINT THE WALLS AND CEILING**\$ 11000

Remove the kitchen countertop, base and wall cabinets. Remove all soffit system in the kitchen, above the wall cabinets, above the window, above the door opening, above the refrigerator and between the kitchen and family room, do not replace. Haul away all debris from property at once. The Contractors will verify measurements and dimensions. This item requires a permit.

WALLS AND CEILING

- a) After removal of all soffit system: extend the pantry walls to upper ceiling. Install new pantry bifold *molded* panel doors. Repair any crack(s), patch small holes with spackle, patch large hole and walls/ceiling replacement, with like material (or drywall) and matching the thickness of existing walls/ceiling. Install the required framing, backings and/or furring strips. Patched walls and ceiling finishes should match existing finish as close as possible. Discuss (with Homeowner) any variations in new finish or type of new finish, prior to beginning the work. Include painting of pantry closets (6 sides) and frame, wood trim, baseboard

and door. Patch and paint the entire walls and ceiling. Homeowner will select the paint color. Paint per the General Paint Specifications.

- b) Note, after the cabinets' removal, patch and prime the walls concealed by the cabinets and back splash; patch and finish paint all exposed walls behind the cabinets. All exposed walls under the cabinets must have a finished appearance.

CABINETRY

- c) Replace the cabinetry and countertop in the same configuration as the existing, except as noted herein. The Homeowner will select cabinets color and design, from standard stock. Place escutcheon plates at all plumbing and electrical opening through the cabinet.
- d) Install corner cabinets in both corners of cabinet layout. Install a base cabinet door on the family room side, same as the existing.
- e) Install wall cabinets above kitchen windows.
- f) Install 42" wall cabinets.
- g) Install 24" deep wall cabinet above the refrigerator.
- h) Install a wall cabinet above the stove high enough for a future microwave under the cabinet unit.
- i) Replace any missing flooring, as required, match existing as close as possible.
- j) All new cabinets are to be plywood or solid wood with raised wood doors, no particleboard and no thermo-foil. **CONTRACTOR is responsible for verifying all cabinetry material with Housing Inspector.**
- k) For cabinet attachment, use washer head cabinet screws or cabinet screws with cup washers.
- l) Material allowance including sales tax for door and drawer knobs/handles is \$2.00 each. For attachment, use washer head cabinet screws or cabinet screws with cup washers.
- m) On top of the base cabinets, install the new standard Formica countertop on veneered exterior grade plywood. Homeowner will select color and design, within the budget. No Formica seams within 18" of wet area around sink.
- n) Install a full tiled back splash. Note the existing back splash is tiled.
- o) Under this work item, install an independent countertop shelf on the patio side of the kitchen window.

ELECTRICAL

- p) Under this work item, add two new tamper proof GFCI Receptacles one on each side of the stove.
- q) Under this work item, provide a 4-prong receptacle with the required wiring for the electric range.
- r) Under this work item, provide a dedicated 20 amps outlet and wiring over the kitchen range/stove, inside the wall cabinet. *Install the receptacle near the side wall of the cabinet, allowing for future exhaust ductwork.*
- s) Under this work item, provide a receptacle for dishwasher and garbage disposal, and a wall switch for a garbage disposal.

THERMAL & MOISTURE PROTECTION**03) MINOR ROOF REPAIR**\$ 1895

LOCATION: EXTERIOR CORNER BETWEEN THE FRONT PORCH AND GARAGE

There is a small roof leak coming from within the soffit. The leak appears to originate from the flashing between two roof (flat roof and shingle roof). Eliminate any minor leaks. Replace any damage soffit, paint to match the existing. Discuss with the Homeowner any variations, prior to removal. Homeowner must agree in writing, on matching materials.

04) REPLACE ROOF TURBINES

AND REPAIR PATIO ENCLOSURE AS NOTED

AND REATTACH LOOSE WIRING

\$ 4000

- a) Replace the existing turbine roof vents with gooseneck vents. Do not reduce existing vent openings. This item may require a permit.
- b) Re-align two (2) main patio framing members anchored to the house.
- c) Reattach all patio framing to the fascia board and replace missing anchor.
- d) Replace all ceiling screen panels, on the patio screen enclosure.
- e) Replace the side screen panels immediately adjacent to the house on the east and west ends.
- f) Reattach loose wiring, e.g., cabling, telephone lines, electric wiring, etc. to the underside of the fascia or soffit.

05) SLOPE FRONT FLAT ROOF TO REMOVE PONDING WATER \$ 3000

The existing front flat roof is ponding water.

Prime the existing roof cap sheet. Install perlite board with hot asphalt, to build up low areas. Use tapered perlite if required to provide a positive roof slope to drain the water. Install two layers of fiberglass ply sheet, solid mopped with hot asphalt and one layer of Modified Bitumen solid mopped with hot asphalt. Where required, replace 3 inches galvanized steel drip edge, galvanized steel valley, lead stacks on all plumbing projections. This item may require a permit.



- a) There can be no pooling water.
- b) Reattach loose wiring, e.g., cabling, telephone lines, etc. to the underside of the fascia or soffit.
- c) Securely attach loose soffit and caulk gaps between the soffit and fascia board.
- d) See above work item for reattaching the patio enclosure to the fascia board

DOORS & WINDOWS**06) FRONT EXTERIOR DOOR WITH IMPACT GLASS**\$ 2400NUMBER OF DOOR OPENING 1

Remove existing front door, jamb, casing, threshold, and haul these materials/debris away. Replace deteriorated wood buck, set buck in premium silicone sealant. Install the door and its components in strict compliance with the Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition. This item requires a permit.

- a) Furnish and install new out-swing impact resistant fiberglass exterior door, with half-round 1/4-inch impact glass, complete with jamb, casing, brick molding. Doors must be 1 3/4 inch solid core door.
- b) The new door shall fit within the existing masonry opening, per the product approval.
- c) Install peephole, spring/chain stop or doorstop. The Homeowner must sign-off on the height of the peephole prior to installation.
- d) Install aluminum weather-stripping saddle, weather-stripping on the frame and weatherstrip wedges at the upper and lower corners of the jamb to ensure weather tight seal.
- e) Install security proof hinges. The doorknob should be an entry-type, which can be locked by turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside, knob and deadbolt keyed alike. Install ANSI Grade 1 hardware.
- f) Countersink all exposed fasteners into frame, to conceal; fill with wood putty and sand smooth. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- g) If door and/or jamb are unfinished, apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. DO NOT PAINT THE WEATHER-STRIPPING.
- h) Homeowner will select door style, color, finishes, glass and left or right hand door swing; Homeowner written approval is required. Replace door address numbering, if required.

07) MAIN BATHROOM - EXTERIOR SIDE DOOR\$ 500

Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition.

- a) The newly installed deadbolt does not completely cover up the bored hole. Install an escutcheon plate (same finish as the deadbolt) around the existing deadbolt or install a new hardware set with the doorknob and deadbolt keyed the same.
- b) Install aluminum spring/chain stop, or doorstop (per Homeowner choice).
- c) Make sure door operate smoothly and no daylight revealing around the weather-stripping when the door is closed.

- d) Countersink all exposed fasteners into frame, to conceal fill-in holes and provide a smooth finish. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- e) Apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. Homeowner will select color.

08) EXTERIOR WINDOWS

\$ 2000

- a) Kitchen window – install new matching marble sill with ½" marble sills.
- b) Replace living room window sills with matching window sills.
- c) Check all windowsills: must completely conceal the mullion clips. Replace any notched windowsills and do not use a filler material to conceal the mullion clips. Match color of adjoining window sills.
- d) Repair/replace all damaged surfaces inside and out, caused by windows removal. Modifications or repairs/replacement work to, e.g., stucco, drywall, paint, caulk, should match existing adjacent surfaces.
- e) Remove the manufacturers' stickers and residue on the glass after all final inspections, including after the screen panels replacement. See work item below for screen panels replacement.
- ~~f) Install tightly fitting screen panels on windows to prevent insects and lizards from crawling into the house.~~

08a) SCREEN PANELS REPLACEMENT FOR EXISTING (NEW) WINDOWS

\$ 0

The existing (new) screen panels do not fit snugly in-place, to prevent insects and lizards from crawling into the house.

The existing (new) windows were manufactured by Lawson Industries Inc., (305) 696-8660.

Contractor shall contact Lawson Industries Inc. to have a manufacturer field representative examine the screen panels for possible manufacture replacement.

Contractor to coordinate and install new window screen panels as supplied by the manufacturer.

PLUMBING**09) KITCHEN - REPLACE SINK, FAUCET, SUPPLY AND DRAIN LINES**

\$ 1500

Remove and replace existing kitchen double bowl sink, faucet and drain assembly (under sink). Haul away debris from property at once. Install new double bowl sink, 9" deep, minimum 20-gauge stainless steel; allowance including sales tax for the sink is \$300. Install a new label Water-Efficient faucet with or without sprayer; allowance including sales tax for the faucet is \$200 (see warranty information below). The Homeowner must sign off on the sink and faucet design (not including the drain assembly). Install new supply tubes. Install new shut off valves. Install new drain assembly (under sink). Place escutcheon plates at all plumbing and electrical opening through the cabinet or wall. This item requires a permit. Priority 5

- a) Provide connection for new garbage disposer.
- b) Provide faucet with manufacturer lifetime limited warranty to be leak and drip free, and free of defects in material and workmanship.

- c) Contractor to install dishwasher and supply miscellaneous fittings for the new dishwasher. Dishwasher supplied by the Homeowner.

ELECTRICAL

10) MISCELLANEOUS ELECTRIC

\$ 4000

This item requires a permit.

- a) Laundry room – conceal wiring (conduit) to existing ceiling light fixture, light switch and wall receptacle on the complete south wood panel wall and east wall.
- b) Remove junction box and electrical wiring (conduit) at the front porch ceiling and garage soffit.
- c) Storage room (formerly garage) - add two (2) duplex receptacles, see Homeowner for exact location.
- d) Replace the master bedroom closet light fixture and electrical connection, fixture to match existing.
- e) Provide code required single receptacle for refrigerator.
- ~~f) Provide a dedicated 20-amps outlet and wiring over the kitchen range/stove.~~
- g) Patch and paint effected areas associated with this work item to match the existing adjacent surfaces.

11) REPLACE TWO (2) EXTERIOR LIGHT FIXTURES

\$ 400

LOCATIONS: NORTHWEST CORNER, SOUTHEAST CORNER OF GARAGE

Remove and replace exterior light fixture with motion sensor. Remove existing exterior light fixture replaced. Install interior controlling wall switches. Discuss with the Homeowner the locations of the controlling switches prior to installation. Homeowner will select the light fixture within the \$50.00 per light fixture material budget: weather resistance, ENERGY STAR® qualified and labeled accordingly. Haul away debris from property at once. This item require permit.

- a) Conceal all wiring.

MISCELLANEOUS

12) RE-PAINT FASCIA BOARD AND SOFFIT

\$ 1195

Paint all fascia board and soffit. Use the right product for the surface painted. Prepare surface, prime and paint. Tint the primer to the color selection. Apply finish coat(s), test paint to determine proper number of coats for coverage. Protect adjacent areas while painting. **NOTE: contractor is responsible for protecting all flowers, shrubs, hedges, trees and ornamentals on site while painting and pressure cleaning.**

- a) Replace damaged fascia and soffit, match existing size. Reattach loose fascia and soffit.
- b) Homeowner will select two (2) colors.
- c) Excessive bleeding in wood members must be spot primed before application of first coat.
- d) Do not spray paint; roller and brush application only. All work must be free of runs, sags, defective brushing or rolling.

- e) Material allowance for paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO OR LOW VOC 100% acrylic products, e.g., **Sherwin Williams or an approved equal. Housing Inspector to verify brand and VOC level.**
- f) Upon completion, contractor must provide the Homeowner a list of all paint code numbers per locations. **Additional paint shall leave to Homeowner for future use.**
- g) Paint the fascia board before installing any new gutters and downspouts.

13) INSTALL NEW GUTTER & DOWNSPOUT\$ 700

LOCATION: FRONT ELEVATION AND ENTIRE FRONT FLAT ROOF EAVES

Install new 6" seamless metal gutter and downspout system, on the front elevation of the house. Homeowner will select color from standard stock colors. Install new 24" concrete splash blocks at downspouts. Install the splash blocks on a grade to discharge the water away from any foundation (provide new soil and sod, as required, to slope splash block).

14) RE-INSTALL SECURITY BARS OVER THREE (3) WINDOWS\$ 700

LOCATIONS: TWO BEDROOM WINDOWS ON THE WEST ELEVATION AND STORAGE ROOM WINDOW

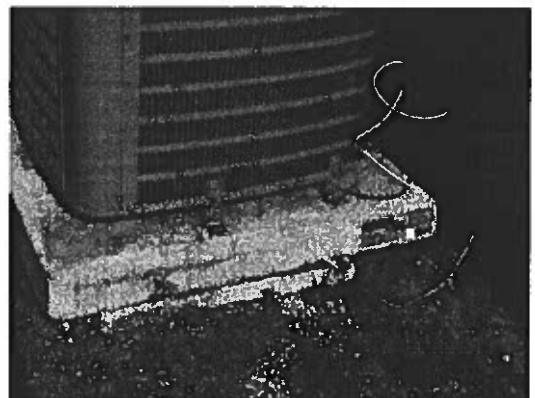
Re-install existing security bars on the windows per FBC R310.4, i.e., provided on egress windows the minimum clearance complies with FBC R310.1.1 to R310.1.3 and be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than required for normal operation of the escape and rescue openings. Modify the existing security bars as required to comply with FBC and the reinstallation. See <https://www.miamidade.gov/permits/library/brochures/security-bar-installation.pdf> The anchoring of the security bars and release mechanism require a permit.

15) PROVIDE SOLID SUBGRADE FOR EXISTING CONDENSATION UNIT\$ 500

Reason for this work item: existing air condition condensing unit pad is unbalance.

The concrete pad in which the outside condensing unit is mounted does not have a stable subsurface. Provide an acceptable subgrade or foundation for the existing concrete pad.

- a) To perform this work item the existing condensing unit must be remove and reconnected.

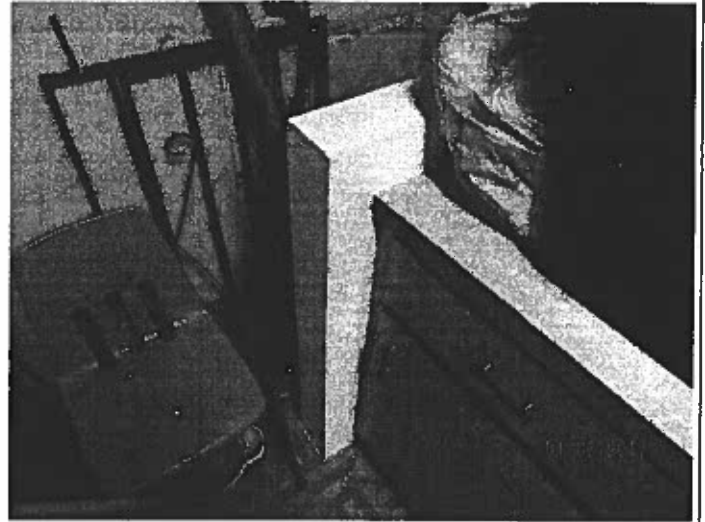


16) LAUNDRY ROOM

\$ 1500

Base cabinet - Resurface (re-Formica) the base cabinets and countertop. The new Formica should match the existing Formica as close as possible. Homeowner must sign off on final selection.

Walls and ceiling - completely remove the wall paneling and wood trim, replace with 5/8" drywall. Install matching base board where base board is missing. Frame and drywall (box) around the exposed dryer exhaust pipe, located between the knee wall and the exterior wall. Provide a smooth finish on the walls and ceiling and paint per the General Paint Specifications.



TOTAL BASE BID: 36790

MAR 22 '18 PM 4:41

AGREEMENT

I/We agree that each item in these specifications has been discussed in my/our presence and I/we understand the contents. It is further agreed that any additional code or incipient (that is becoming apparent) violations that may occur during the construction period should be addressed by deleting a non-code related item(s), which are called General Property Improvements. By our attested signature(s), I/we agree to abide by these conditions.

HOMEOWNER ACKNOWLEDGEMENT AND ACCEPTANCE OF SCOPE OF WORK

HOMEOWNER #1 SIGNATURE: _____

HOMEOWNER #1 PRINTED NAME: _____

DATE: _____

HOMEOWNER #2 SIGNATURE: _____

HOMEOWNER #2 PRINTED NAME: _____

DATE: _____

HOME INSPECTOR SIGNATURE: _____

HOME INSPECTOR PRINTED NAME: _____

DATE: _____

HOME INSPECTOR'S NOTES: _____

CONTRACTOR'S SIGNATURE FOR SUBMISSION OF BIDCONTRACTOR SIGNATURE:  _____CONTRACTOR PRINTED NAME: Ron AugustinDATE: 3/21/18COMPANY NAME: Reliant Construction GroupTELEPHONE: 305-724-7858**FINAL ACCEPTANCE OF SCOPE OF WORK (CONTRACTOR AND HOMEOWNER)**

HOMEOWNER #1 SIGNATURE: _____

HOMEOWNER #1 PRINTED NAME: _____

DATE: _____

HOMEOWNER #2 SIGNATURE: _____

HOMEOWNER #2 PRINTED NAME: _____

DATE: _____

CONTRACTOR NAME: _____

CONTRACTOR SIGNATURE: _____

DATE: _____

MAR 22 '18 PM 4:40



Notification & Acknowledgement of Waste Management Service

The Contractor is hereby notified that Waste Pro is the City's official waste management provider and must be used for all waste disposal activities related to this project. For assistance, call (954) 967-4200.

Project/Development Name: ILENE SPENCE

Contractor Company Name: Reliant Construction Corp

Contractor Acknowledgement RON AUGUSTIN
Print Name/Title

[Signature]
Signature

Date: 3/22/18

MAR 22 '18 PM 4:40

ADDENDUM NO. 1

CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME
HOME REPAIR/IMPROVEMENT PROGRAM
Request Quotation No.: M19016

March 20, 2018

TO: **ALL PROSPECTIVE BIDDERS**

FROM: William La'Marr Ruffin, 954-709-0471 and 954-533-8952 Fax

PROJECT SITE: Ilene Spence
6771 Pansy Drive
Miramar, FL 33023

PLEASE NOTE THE FOLLOWING CHANGES:

- 1) Closing Date for Request Quotation No. **M19016** on **MARCH 22, 2018** is unchanged.
- 2) Replace pages 7, 8, 9, 11, 12, 13 and 14 with revised pages 7, 8, 9, 11, 12, 13 and 14 dated March 20, 2018. The changes were:

On page 7 and 8, replace line Item 02.
On page 9, replace line Item 04.
On page 11, replace line Item 8 and 8a.
On page 11 and 12, replace line Item 09.
On page 12, replace line Item 10-11.
On page 12 and 13, replace line Item 12.
On page 13, replace line Item 13.
On page 14, replace line Item 16.

MAR 22 '18 PM 4:40

This addendum should be acknowledged on the Request Quotation Form and/or returned with your Request Form, due, **MARCH 22, 2018** at 4:00 PM.

All other terms, conditions and specifications remain unchanged.

NAME OF COMPANY:

Robert Guterres Corp

AUTHORIZED SIGNATURE:

[Signature]

Sub-contractor and Supplier Notification Form

Prime Contractor Name: Reliant Construction Group Inc.

Address: 7607 Kismet St, Miramar, FL 33023

Phone: 305-975-5596

Fax: 786-427-1316

SUB-CONTRACTORS

Company	Contact Person	Address	Telephone #
Allied Electric	Steve	13899 BISCAYNE BLVD N MIAMI BCH, FL	786-566-0863
MG Plumbing	Mervyn	1265 NW 203 ST MIAMI, FL 33169	305-525-9236

SUPPLIERS

Company	Contact Person	Address	Telephone #
Home Depot	N/A	1951 SR-7 west park, fl 33023	954-961-1761

I hereby certify to the property owner named below that the above subcontractors/suppliers will render services/supplies for the purpose of performing rehabilitation work at the property located below. Other subcontractors and suppliers to be used on this project but not identified on this list will be submitted forthwith upon agreement for services.

Property Owner

Name: Ilene Spence

Address: 6771 Pansy Dr, Miramar, FL 33023

POST BID AWARD

Sealed Bid Submission To:
City of M. Estacade
Residential Rehabilitation Program
NSP/SHIP/CDBG/HOME

WORKING PAPERS

Contractor
Name: Reliant Construction Group
Address: 7601 Kistner St
City/State/Zip: Miramar FL 33023
Telephone: 305-724-7898
Email: Reliant Construction @ yahoo

Homeowner/Project
Name: ELENE Shenda
Address: 6791 Pansy Drive
City: M. Estacade, FL 33023
State/Zip: FL 33023

MAR 22 '18 PM 4:41

Sealed Bid Due:
Date: 3/22/18
Time: 4:00 PM

All Sealed Bids must be delivered to:
Community Redevelopment Associates of Florida, Inc.
Housing Programs Office
8569 Pines Blvd, Suite 207
Pembroke Pines FL 33024.

- Sealed bids will not be accepted between the hours of 12:30 PM and 1:30 PM
 - Sealed bids will be time stamped upon submission by CRA
- Time stamped sealed bids must be placed by the Bidder in the Sealed Bid Lockbox [Fold to fit if necessary]

William La'Marr Ruffin, Honor Inspector
954-709-0471 and 954-513-8952 Fax

POST BID AWARD

Bid Procedures Cover Page

WORKING PAPERS

CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME
HOME REPAIR/IMPROVEMENT PROGRAM
Mandatory Pre-Bid
Request Quotation No.: M19016

JANUARY 12, 2018

TO: Contractors from Qualified List attending Pre-Bid Conference

FROM: William La'Marr Ruffin, 954-709-0471

SUBJECT: MANDATORY Pre-Bid Conference for
Home Repair/Improvement Program

PROJECT MEETING SITE: Ilene Spence
6771 Pansy Drive
Miramar, FL 33023

BID DUE DATE AND TIME: MAY 16, 2017 BY 4:00 PM
BID OPENING DATE AND TIME: MAY 16, 2017 AT 4:15 PM

Please review the following:

- 1) Contractors who want to bid on this project must attend the Pre-Bid Conference.
- 2) Contractors will be responsible for verifying all job conditions, measurements, code requirements and pricing prior to bid submission.
- 3) Contractors must submit his/her bid on the form provided in a sealed envelope. The envelope is to display:
 - a. Name of customer
 - b. Full address
 - c. Bid due date and time
 - d. The name of the City in which the customer(s) resides
- 4) Any additions, deletions or changes to the form will disqualify the bid.
- 5) The bid document must be signed and dated by the qualifier
- 6) The bid should be hand delivered to:

Community Redevelopment Associates of Florida Inc.
8569 Pines Boulevard, Suite 201, Pembroke Pines, FL 33024
Attention: Andrew Azabeokhai
- 7) The bid closing date is the "due date" cited above The Contractor's bids must be turned in no later than 4:00 PM on the due date.
- 8) Any bids received late will be disqualified.

If you have any questions, you may contact William La'Marr Ruffin 954-709-0471.

Wilhelm La Marr Rubio, Home Inspector
19016 Spence, Ilene

POST BID AWARD

SPECIFICATIONS FOR WORK

CITY OF MIRAMAR
N.S.P./S.H.I.P./C.D.B.G./HOME WORKING PAPERS
HOME REPAIR/ IMPROVEMENT PROGRAM
MARCH 16, 2018

PROPERTY OWNER: **Ilene Spence**
6771 Pansy Drive
Miramar, FL 33023

HOME TELEPHONE: **954-559-7392**

LEGAL DESCRIPTION: **MIRAMAR ISLES SEC 5 61-46 B LOT 28 BLK 19**

JOB NUMBER: **M19016**

GENERAL SPECIFICATIONS

The Contractor shall perform the services with the standard of skill, care and due diligence, which a competent and suitable qualified person performing such services would reasonably be expected to exercise, and in accordance with the Work Specifications. The work shall be performed in a "Workman Like Manner." Contractor to include cost of services of any licensed professional, if necessary, in procuring permits for the work.

To the fullest extent permitted by law, the Contractor shall indemnify, defend and hold harmless the owner and the City and its agents and employees, from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of the work or providing of materials to the extent caused in whole or in part by negligent or wrongful acts or omissions of, or a breach of this agreement by, the contractor, a subcontractor, anyone directly or indirectly employed by them or anyone whose acts they are legally responsible.

The Contractor certifies that the location of the proposed work has been examined, as necessary to fully understand the nature of the obligation. The Contractor is responsible for measurements. The work should be complete in the time limit(s) specified and in accordance with the plans and Work Specifications.

The Contractor must pull the permit within thirty (30) days of the issuance of the Notice to Proceed. Construction work must begin within forty-five (45) days from the date of the Building Permit issuance and shall be carried out at a rate that insures its full completion no later than one hundred and twenty (120) days from the date of the issuance of the Notice to Proceed.

The Contractor shall provide all necessary materials, equipment and personnel who have the appropriate qualifications and experience to undertake the scope of the Work Specifications.

The Contractor agrees to provide a one (1) year warranty for all work performed under these specifications. This will include all labor and materials. If certain items require different warranty periods, these items will be cited in the individual specifications.

All work performed under these specifications must be done in compliance with the local City Ordinance and within the interpretation of the Florida Building Code. Attempts were made to identify the required permits, per line items cited below. However, it is the Contractor's responsibility to identify and pull all required permits.

POST BID AWARD

954-709-6471 and 954-533-8931 Fax

All applicable State and Federal Statutes must be followed (i.e. Davis Bacon, Child Labor Laws etc.). Failure to comply with general conditions may result in suspension or removal from the program.

WORKING PAPERS

There can be no verbal agreements between the Contractor and Homeowner.

Each of the Parties (by notice) in writing to the other can request a modification(s) to the requirement(s) cited in the Work Specifications should such modification(s) (at any time) become necessary due to Code requirements or unforeseen conditions/circumstances. In the event of any such modifications, the payment or credit for these (documented) changes may be subject to fair and reasonable adjustment(s) agreed upon between the City agent and the Contractor; these payment or credit adjustment(s) will be recorded in writing, by way of Change Order.

Change Orders - The Contractor's written proposal for change order shall be submitted in the form of a lump sum proposal supported with an itemized breakdown of all increases and decreases in the contract in at least the following details:

- (1) **Direct Costs.** Materials (list individual items, the quantity and unit cost of each, and the aggregate cost); Transportation and delivery costs associated with materials; Labor breakdowns by hours or unit costs (identified with specific work to be performed); Construction equipment exclusively necessary for the change; Costs of preparation and/ or revision to permits resulting from the change; Worker's Compensation and Liability Insurance; Employment taxes under FICA and FUTA.
- (2) **Indirect Costs.** Indirect costs may include overhead, general and administrative expenses, and fringe benefits not normally treated as direct costs.
- (3) **Profit.** The amount of profit shall be negotiated and may vary according to the nature, extent, and complexity of the work required by the change. The allow ability of the direct and indirect costs shall be determined in accordance with the Contract Cost Principles and Procedures in Part 31 of the Federal Acquisition Regulation (48 CFR 1-31), as implemented by HUD Handbook 2210.18, in effect on the date of this contract. The Contractor shall not be allowed a profit on the profit received by any subcontractor. Equitable adjustments for deleted work shall include a credit for profit and may include a credit for indirect costs. On proposals covering both increases and decreases in the amount of the contract, the application of indirect costs and profit shall be on the net-change in direct costs for the Contractor or subcontractor performing the work.
- (4) The Contractor shall include in the proposal its request for time extension (if any), and shall include sufficient information and dates to demonstrate whether and to what extent the change will delay the completion of the contract in its entirety.

Except in an emergency endangering life or property, no change shall be made by the Contractor without a prior order from the Contracting Officer.

If there are conflicts between the Homeowner and the Contractor, the requirements cited in the Work Specifications shall prevail. Exception: Contractor and Homeowner must receive written approval from the Homeowner Association or Condo Association and/or Property Manager for all work items.

The Contractor acknowledges that the agent of the City shall perform pre and post inspections of all work performed. Final and full payment for all work completed pursuant to the Work Specifications (as amended/modified, if applicable) shall be made upon completion of all inspection(s) required by the program and the work has been deemed satisfactory.

The invoice for work satisfactorily completed must be submitted to the City agents and shall include the following documents at a minimum;

1. Invoice with invoice numbers (#)
2. Amount of invoice must match the signed proposal and signed Change Order(s), if applicable.
3. Homeowner's signature stipulating work satisfaction and completion
4. Contractor Release of Liens and each Sub-contractor Release of Liens
5. Copies of all required Permits, signed off and approved.
6. Warranty for work performed.

POST BID AWARD

Homeowner shall provide the Contractor access to the property; Monday thru Saturday between 8am and 6pm. Homeowner shall provide the water and electric services necessary to accomplish this work.

If at any point in the following Specifications a "maximum retail price or material allowance" is quoted for an item to be installed, the Homeowner will be responsible for selecting and approving this item within the quoted price range. The Contractor must have written acceptance from the Homeowner, prior to the installation of this product. All material allowance includes sales tax.

It is the Homeowner responsibility to remove and replace all personal property to facilitate the performance of the work. This includes, but is not limited to rugs, furniture, antennas and alarm system.

Contractor shall repair/relocate any phone wires that are affected by this work, Homeowner responsible for all TV cables or satellite wiring.

All exterior and interior walls, ceilings, doors and trim paint will be the responsibility of the Homeowner unless otherwise stated in individual specification.

Lead Based Paint Testing Report was emailed to each contractor attending the Pre-Bid Conference: by signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

POST BID AWARD

SECTION 3 CLAUSE AND PROVISIONS

1. "Section 3" Compliance in the Provision of Training, Employment and Business Opportunities

(A) The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

(B) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.

(C) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

(D) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

(E) The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

(F) Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(G) With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible

(H) Preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

POST BID AWARD
954-709-0171 and 954-333-0952 fax

SECTION 3 STATEMENT OF COMPLIANCE

TRAINING, EMPLOYMENT, AND CONTRACTING OPPORTUNITIES FOR BUSINESS AND LOWER INCOME PERSONS

WORKING PAPERS

A. The project assisted under this (contract) (agreement) is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S. C. 70U. Section 3 requires that to the greatest extent feasible opportunities for training and employment be given to lower income residents of the project area and contracts for work in connection with the project be awarded to business concerns which are located in or owned in substantial part by persons residing in the area of the project.

B. Notwithstanding any other provision of this (contract) (agreement), the (applicant) (recipient) shall carry out the provisions of said Section 3 and the regulations issued pursuant thereto by the Secretary set forth in 24 CFR Part 135 (published in 38 Federal Register 29220, October 23, 1973), and all applicable rules and orders of the Secretary issued there under prior to the execution of this (contract) (agreement). The requirements of said regulations include but are not limited to development and implementation of an affirmative action plan for utilizing business concerns located within or owned in substantial part by persons residing in the area of the project; the making of a good faith effort, as defined by the regulation, to provide training, employment and business opportunities required by Section 3; and incorporation of the "Section 3 Clause" specified by Section 135.20 (b) of the regulations in all contracts for work in connection with the project. The (applicant) (recipient) certifies and agrees that it is under no contractual or other disability which would prevent it from complying with these requirements.

C. Compliance with the provision of Section 3, the regulations set forth in 24 CFR Part 135, and all applicable rules and orders of the Secretary issued thereunder prior to approval by the City of the application for this (contract) (agreement), shall be a condition of the Federal financial assistance provided to the project, binding upon the (applicant) (recipient), its successors and assigns. Failure to fulfill these requirements shall subject the (applicant) (recipient), its contractors and subcontractors, its successors, and assigns to the sanctions specified by the (contract) (agreement), and to such sanctions as are specified by 24 CFR Section 135.

Name of Contractor: Reliant Construction Group

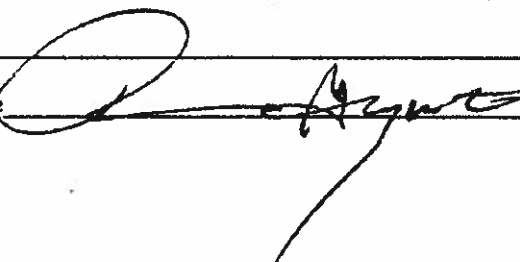
Title of RFP or Spec: Ilene Spence

Spec # or RFP # or Purchase Order Bid No M19016

Will you hire new employees as a result of this contract? Yes [] No [x]

Contractor: Ron Augustin

Contractor's Signature and Title



Date: 3/21/18

GENERAL REQUIREMENTS

POST BID AWARD

LEAD REPORT

As part of these specifications, a 'Lead-Based Paint Testing Report' provided by EE&G Environmental Services, LLC., Project No. 2009-2207 LBP, dated March 17, 2014, was e-mailed to all contractors attending the Pre-Bid Meeting and signed the sign-in sheet. By signing the sign-in sheet at the Pre-Bid Conference, the contractors acknowledge receiving the report. However comprehensive the report appears, it cannot claim to have identified all lead containing materials. It is the Contractor's responsibility to determine compliance with EPA and OSHA standard.

GENERAL PAINT SPECIFICATIONS

Unpainted materials require priming and two coats of paint. Tint the primer per color selection. Previous paint surface should receive two coats of paint. All stains should be spot-primed before painting. Unless otherwise mentioned in the specifications, all paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO VOC products, for interior paint and ZERO OR LOW VOC 100% acrylic products, for exterior paint. Acceptable paint manufacturers (unless specified in the line item) are Benjamin Moore, Sherwin Williams, Glidden/ICI, PPG, Olympic, Valspar or approved equal. Housing Inspector shall verify brand and VOC level. The Homeowner is to select all colors and confirmed in writing. Upon completion, contractor must provide the Homeowner a list of all paint code numbers per rooms and locations, for later color matching.

CLEAN UP

Contractor agrees to keep the property clean and orderly during the course of the work and to remove all materials, debris, equipment and machinery at the completion of the workday. Clean interior and exterior work in a professional, workmanship type manner with all O.S.H.A. safety laws and rules observed.

- Remove all debris daily and broom clean the worksite at all times.
- Contractor shall not use residential bulk and regular trash pickup system to remove construction debris.
- City's official waste management providers must be used for all waste disposal activities for this project:

Waste Pro USA
17302 Pines Boulevard
Pembroke Pines, FL 33029
(954) 967-4200
(954) 241-4489

- Cover and protect the furniture and all surfaces from construction dust.
- All related construction items removed will become the property of the Contractor, unless a prior agreement is reached (in writing) with Homeowner.

PERMITS AND MISCELLANEOUS FEES

POST BID AWARD

The City of Miramar permit fees waived with the "Affordable Housing Stamp" and a letter requesting a waiver, obtained at Community Redevelopment Association of Florida Inc., 8569 Pines Boulevard, Suite 201, Pembroke Pines, FL 33024. All permits, inspections, process fees, impact fees, miscellaneous fees, etc. prior to Commencement, engineering or survey required to complete the following tasks shall be the responsibility of the Contractor.

WORKING PAPERS

- For the Home Inspector, the contractor must have on site the complete permit package for all trades (permit cards, applications, drawings, etc.).
- Upon completion of the work specifications, the Contractor must completely fill-out, the Homeowner supplied, Uniform Mitigation Verification Inspection Form, include supplying pictures and performing research to determine permit history and year house built.

SITE CONSTRUCTION

01) TERMITE TREATMENT

\$ 1500

Perform tent fumigation for exterminating Dry-wood Termites by a licensed pest control company using VIKANE gas fumigant. The Contractor shall schedule the treatment between Homeowner and exterminating company. Homeowner must vacate the premises prior to and after the treatment as directed by the exterminating company. The Contractor must furnish an inspection/treatment report after the fumigation and a warranty from the pest control company.

WOOD & PLASTICS

02) KITCHEN - REPLACE CABINETS AND COUNTERTOP

INSTALL ELECTRICAL RECEPTACLES

PATCH AND PAINT THE WALLS AND CEILING

\$ 11000

Remove the kitchen countertop, base and wall cabinets. Remove all soffit system in the kitchen, above the wall cabinets, above the window, above the door opening, above the refrigerator and between the kitchen and family room, do not replace. Haul away all debris from property at once. The Contractors will verify measurements and dimensions. This item requires a permit.

WALLS AND CEILING

- After removal of all soffit system: extend the pantry walls to upper ceiling. Install new pantry bifold *molded* panel doors. Repair any crack(s), patch small holes with spackle, patch large hole and walls/ceiling replacement, with like material (or drywall) and matching the thickness of existing walls/ceiling. Install the required framing, backings and/or furring strips. Patched walls and ceiling finishes should match existing finish as close as possible. Discuss (with Homeowner) any variations in new finish or type of new finish, prior to beginning the work. Include painting of pantry closets (6 sides) and frame, wood trim, baseboard

POST BID AWARD

and door. Patch and paint the entire walls and ceiling. Homeowner will select the paint color. Paint per the General Paint Specifications.

- b) Note, after the cabinets' removal, patch and prime the walls concealed by the cabinets and back splash; patch and finish paint all exposed walls behind the cabinets. All exposed walls under the cabinets must have a finished appearance.

CABINETRY

- c) Replace the cabinetry and countertop in the same configuration as the existing, except as noted herein. The Homeowner will select cabinets color and design, from standard stock. Place escutcheon plates at all plumbing and electrical opening through the cabinet.
- d) Install corner cabinets in both corners of cabinet layout. Install a base cabinet door on the family room side, same as the existing.
- e) Install wall cabinets above kitchen windows.
- f) Install 42" wall cabinets.
- g) Install 24" deep wall cabinet above the refrigerator.
- h) Install a wall cabinet above the stove high enough for a future microwave under the cabinet unit.
- i) Replace any missing flooring, as required, match existing as close as possible.
- j) All new cabinets are to be plywood or solid wood with raised wood doors, no particleboard and no thermo-foil. CONTRACTOR is responsible for verifying all cabinetry material with Housing Inspector.
- k) For cabinet attachment, use washer head cabinet screws or cabinet screws with cup washers.
- l) Material allowance including sales tax for door and drawer knobs/handles is \$2.00 each. For attachment, use washer head cabinet screws or cabinet screws with cup washers.
- m) On top of the base cabinets, install the new standard Formica countertop on veneered exterior grade plywood. Homeowner will select color and design, within the budget. No Formica seams within 18" of wet area around sink.
- n) Install a full tiled back splash. Note the existing back splash is tiled.
- o) Under this work item, install an independent countertop shelf on the patio side of the kitchen window.

ELECTRICAL

- p) Under this work item, add two new tamper proof GFCI Receptacles one on each side of the stove.
- q) Under this work item, provide a 4-prong receptacle with the required wiring for the electric range.
- r) Under this work item, provide a dedicated 20 amps outlet and wiring over the kitchen range/stove, inside the wall cabinet. *Install the receptacle near the side wall of the cabinet, allowing for future exhaust ductwork.*
- s) Under this work item, provide a receptacle for dishwasher and garbage disposal, and a wall switch for a garbage disposal.

POST BID AWARD

954-799-0471 and 954-333-0951 Fax

THERMAL & MOISTURE PROTECTION**WORKING PAPERS**

\$ 1895

03) MINOR ROOF REPAIR

LOCATION: EXTERIOR CORNER BETWEEN THE FRONT PORCH AND GARAGE

There is a small roof leak coming from within the soffit. The leak appears to originate from the flashing between two roof (flat roof and shingle roof). Eliminate any minor leaks. Replace any damage soffit, paint to match the existing. Discuss with the Homeowner any variations, prior to removal. Homeowner must agree in writing, on matching materials.

**04) REPLACE ROOF TURBINES
AND REPAIR PATIO ENCLOSURE AS NOTED
AND REATTACH LOOSE WIRING**

\$ 4000

- a) Replace the existing turbine roof vents with gooseneck vents. Do not reduce existing vent openings. This item may require a permit.
- b) Re-align two (2) main patio framing members anchored to the house.
- c) Reattach all patio framing to the fascia board and replace missing anchor.
- d) Replace all ceiling screen panels, on the patio screen enclosure.
- e) Replace the side screen panels immediately adjacent to the house on the east and west ends.
- f) Reattach loose wiring, e.g., cabling, telephone lines, electric wiring, etc. to the underside of the fascia or soffit.

05) SLOPE FRONT FLAT ROOF TO REMOVE PONDING WATER \$ 3000

The existing front flat roof is ponding water.

Prime the existing roof cap sheet. Install perlite board with hot asphalt, to build up low areas. Use tapered perlite if required to provide a positive roof slope to drain the water. Install two layers of fiberglass ply sheet, solid mopped with hot asphalt and one layer of Modified Bitumen solid mopped with hot asphalt. Where required, replace 3 inches galvanized steel drip edge, galvanized steel valley, lead stacks on all plumbing projections. This item may require a permit.

- a) There can be no pooling water.
- b) Reattach loose wiring, e.g., cabling, telephone lines, etc. to the underside of the fascia or soffit.
- c) Securely attach loose soffit and caulk gaps between the soffit and fascia board.
- d) See above work item for reattaching the patio enclosure to the fascia board



POST BID AWARD

PROPERTY OWNER: Ilene Spence, 6771 Pansy Drive, Miramar, FL 33023

William L. Mary Radon Home Inspector
954 709 0471 and 954 333 8953 Fax

DOORS & WINDOWS

WORKING PAPERS

06) FRONT EXTERIOR DOOR WITH IMPACT GLASS

\$ 2400

NUMBER OF DOOR OPENING 1

Remove existing front door, jamb, casing, threshold, and haul these materials/debris away. Replace deteriorated wood buck, set buck in premium silicone sealant. Install the door and its components in strict compliance with the Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition. This item requires a permit.

- a) Furnish and install new out-swing impact resistant fiberglass exterior door, with half-round 1/4-inch impact glass, complete with jamb, casing, brick molding. Doors must be 1 3/4 inch solid core door.
- b) The new door shall fit within the existing masonry opening, per the product approval.
- c) Install peephole, spring/chain stop or doorstop. The Homeowner must sign-off on the height of the peephole prior to installation.
- d) Install aluminum weather-stripping saddle, weather-stripping on the frame and weatherstrip wedges at the upper and lower corners of the jamb to ensure weather tight seal.
- e) Install security proof hinges. The doorknob should be an entry-type, which can be locked by turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside, knob and deadbolt keyed alike. Install ANSI Grade 1 hardware.
- f) Countersink all exposed fasteners into frame, to conceal; fill with wood putty and sand smooth. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- g) If door and/or jamb are unfinished, apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. DO NOT PAINT THE WEATHER-STRIPPING.
- h) Homeowner will select door style, color, finishes, glass and left or right hand door swing; Homeowner written approval is required. Replace door address numbering, if required.

07) MAIN BATHROOM - EXTERIOR SIDE DOOR

\$ 500

Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition.

- a) The newly installed deadbolt does not completely cover up the bored hole. Install an escutcheon plate (same finish as the deadbolt) around the existing deadbolt or install a new hardware set with the doorknob and deadbolt keyed the same.
- b) Install aluminum spring/chain stop, or doorstop (per Homeowner choice).
- c) Make sure door operate smoothly and no daylight revealing around the weather-stripping when the door is closed.

POST BID AWARD

PROPERTY OWNER: Ilene Spence, 6771 Pansy Drive, Miramar, FL 33023

William LaMarr Kuller Home Inspector

305-789-0471 and 305-333-8961 Fax

WORKING PAPERS

- d) Countersink all exposed fasteners into frame, to conceal fill-in holes and provide a smooth finish. Alternatively, completely conceal behind the weather-stripping, per Product Approval.
- e) Apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. Homeowner will select color.

08) EXTERIOR WINDOWS

\$ 2000

- a) Kitchen window – install new matching marble sill with 1/2" marble sills.
- b) Replace living room window sills with matching window sills.
- c) Check all windowsills: must completely conceal the mullion clips. Replace any notched windowsills and do not use a filler material to conceal the mullion clips. Match color of adjoining window sills.
- d) Repair/replace all damaged surfaces inside and out, caused by windows removal. Modifications or repairs/replacement work to, e.g., stucco, drywall, paint, caulk, should match existing adjacent surfaces.
- e) Remove the manufacturers' stickers and residue on the glass after all final inspections, including after the screen panels replacement. See work item below for screen panels replacement.
- f) ~~Install tightly fitting screen panels on windows to prevent insects and lizards from crawling into the house.~~

08a) SCREEN PANELS REPLACEMENT FOR EXISTING (NEW) WINDOWS

\$ 0

The existing (new) screen panels do not fit snugly in-place, to prevent insects and lizards from crawling into the house.

The existing (new) windows were manufactured by Lawson Industries Inc., (305) 696-8660.

Contractor shall contact Lawson Industries Inc. to have a manufacturer field representative examine the screen panels for possible manufacture replacement.

Contractor to coordinate and install new window screen panels as supplied by the manufacturer.

PLUMBING

09) KITCHEN - REPLACE SINK, FAUCET, SUPPLY AND DRAIN LINES

\$ 1500

Remove and replace existing kitchen double bowl sink, faucet and drain assembly (under sink). Haul away debris from property at once. Install new double bowl sink, 9" deep, minimum 20-gauge stainless steel; allowance including sales tax for the sink is \$300. Install a new label Water-Efficient faucet with or without sprayer; allowance including sales tax for the faucet is \$200 (see warranty information below). The Homeowner must sign off on the sink and faucet design (not including the drain assembly). Install new supply tubes. Install new shut off valves. Install new drain assembly (under sink). Place escutcheon plates at all plumbing and electrical opening through the cabinet or wall. This item requires a permit. Priority 5

- a) Provide connection for new garbage disposer.
- b) Provide faucet with manufacturer lifetime limited warranty to be leak and drip free, and free of defects in material and workmanship.

POST BID AWARD

PROPERTY OWNER: Ilene Spence, 6771 Pansy Drive, Miramar, FL 33023

William La Marr Ruffo, Home Inspector
954 109 0471 and 954 533 0952 Fax

WORKING PAPERS

- c) Contractor to install dishwasher and supply miscellaneous fittings for the new dishwasher. Dishwasher supplied by the Homeowner.

ELECTRICAL

10) MISCELLANEOUS ELECTRIC

\$ 4000

This item requires a permit.

- a) Laundry room – conceal wiring (conduit) to existing ceiling light fixture, light switch and wall receptacle on the complete south wood panel wall and east wall.
- b) Remove junction box and electrical wiring (conduit) at the front porch ceiling and garage soffit.
- c) Storage room (formerly garage) - add two (2) duplex receptacles, see Homeowner for exact location.
- d) Replace the master bedroom closet light fixture and electrical connection, fixture to match existing.
- e) Provide code required single receptacle for refrigerator.
- ~~f) Provide a dedicated 20-amp outlet and wiring over the kitchen range/stove.~~
- g) Patch and paint effected areas associated with this work item to match the existing adjacent surfaces.

11) REPLACE TWO (2) EXTERIOR LIGHT FIXTURES

\$ 400

LOCATIONS: NORTHWEST CORNER, SOUTHEAST CORNER OF GARAGE

Remove and replace exterior light fixture with motion sensor. Remove existing exterior light fixture replaced. Install interior controlling wall switches. Discuss with the Homeowner the locations of the controlling switches prior to installation. Homeowner will select the light fixture within the \$50.00 per light fixture material budget: weather resistance, ENERGY STAR® qualified and labeled accordingly. Haul away debris from property at once. This item require permit.

- a) Conceal all wiring.

MISCELLANEOUS

12) RE-PAINT FASCIA BOARD AND SOFFIT

\$ 1195

Paint all fascia board and soffit. Use the right product for the surface painted. Prepare surface, prime and paint. Tint the primer to the color selection. Apply finish coat(s), test paint to determine proper number of coats for coverage. Protect adjacent areas while painting. **NOTE: contractor is responsible for protecting all flowers, shrubs, hedges, trees and ornamentals on site while painting and pressure cleaning.**

- a) Replace damaged fascia and soffit, match existing size. Reattach loose fascia and soffit.
- b) Homeowner will select two (2) colors.
- c) Excessive bleeding in wood members must be spot primed before application of first coat.
- d) Do not spray paint; roller and brush application only. All work must be free of runs, sags, defective brushing or rolling.

- e) Material allowance for paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO OR LOW VOC 100% acrylic products, e.g., Sherwin Williams or an approved equal. Housing Inspector to verify brand and VOC level.
- f) Upon completion, contractor must provide the Homeowner a list of all paint code numbers per locations. Additional paint shall leave to Homeowner for future use.
- g) Paint the fascia board before installing any new gutters and downspouts.

13) INSTALL NEW GUTTER & DOWNSPOUT

\$ 700

LOCATION: FRONT ELEVATION AND ENTIRE FRONT FLAT ROOF EAVES

Install new 6" seamless metal gutter and downspout system, on the front elevation of the house. Homeowner will select color from standard stock colors. Install new 24" concrete splash blocks at downspouts. Install the splash blocks on a grade to discharge the water away from any foundation (provide new soil and sod, as required, to slope splash block).

14) RE-INSTALL SECURITY BARS OVER THREE (3) WINDOWS

\$ 700

LOCATIONS: TWO BEDROOM WINDOWS ON THE WEST ELEVATION AND STORAGE ROOM WINDOW

Re-install existing security bars on the windows per FBC R310.4, i.e., provided on egress windows the minimum clearance complies with FBC R310.1.1 to R310.1.3 and be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than required for normal operation of the escape and rescue openings. Modify the existing security bars as required to comply with FBC and the reinstallation. See <https://www.miamidade.gov/permits/library/brochures/security-bar-installation.pdf> The anchoring of the security bars and release mechanism require a permit.

15) PROVIDE SOLID SUBGRADE FOR EXISTING CONDENSATION UNIT

\$ 500

Reason for this work item: existing air condition condensing unit pad is unbalance.

The concrete pad in which the outside condensing unit is mounted does not have a stable subsurface. Provide an acceptable subgrade or foundation for the existing concrete pad.

- a) To perform this work item the existing condensing unit must be remove and reconnected.

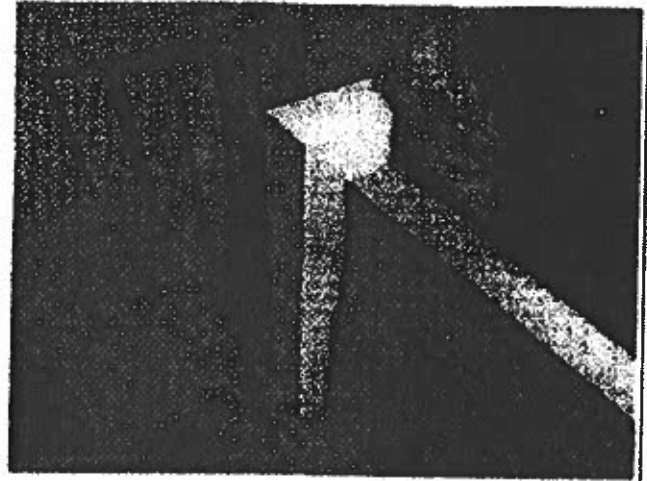


16) LAUNDRY ROOM

Base cabinet - Resurface (re-Formica) the base cabinets and countertop. The new Formica should match the existing Formica as close as possible. Homeowner must sign off on final selection.*

Walls and ceiling - completely remove the wall paneling and wood trim, replace with 5/8" drywall. Install matching base board where base board is missing. Frame and drywall (box) around the exposed dryer exhaust pipe, located between the knee wall and the exterior wall. Provide a smooth finish on the walls and ceiling and paint per the General Paint Specifications.

1500
WORKING PAPERS



TOTAL BASE BID: 36790

MAR 22 '18 PM 4:01

AGREEMENT

I/We agree that each item in these specifications has been discussed in my/our presence and I/we understand the contents. It is further agreed that any additional code or incipient (that is becoming apparent) violations that may occur during the construction period should be addressed by deleting a non-code related item(s), which are called General Property Improvements. By our attested signature(s), I/we agree to abide by these conditions.

WORKING PAPERS

HOMEOWNER ACKNOWLEDGEMENT AND ACCEPTANCE OF SCOPE OF WORK

HOMEOWNER #1 SIGNATURE:

HOMEOWNER #1 PRINTED NAME:

ILENE SPENCE

DATE:

APRIL 20th, 2018

HOMEOWNER #2 SIGNATURE:

HOMEOWNER #2 PRINTED NAME:

DATE:

HOME INSPECTOR SIGNATURE:

HOME INSPECTOR PRINTED NAME:

DATE:

HOME INSPECTOR'S NOTES:

CONTRACTOR'S SIGNATURE FOR SUBMISSION OF BID

CONTRACTOR SIGNATURE:

CONTRACTOR PRINTED NAME:

Ron Augustin

DATE:

3/21/18

COMPANY NAME:

Reliant Construction Group

TELEPHONE:

305-724-7858

FINAL ACCEPTANCE OF SCOPE OF WORK (CONTRACTOR AND HOMEOWNER)

HOMEOWNER #1 SIGNATURE:

HOMEOWNER #1 PRINTED NAME:

DATE:

HOMEOWNER #2 SIGNATURE:

HOMEOWNER #2 PRINTED NAME:

DATE:

CONTRACTOR NAME:

CONTRACTOR SIGNATURE:

DATE:

APR 22 '18 PM 4:40

ATTACHMENT 2



CHANGE ORDER # 1

Homeowner(s): ILENE SPENCE

Contractor: Reliant Construction Group

Address: 6771 PANSY DRIVE

7607 Kismet St

Phone: 954 559 7392

Phone/Fax 305 724 7898

In accordance with the Homeowner/Contractor Agreement dated 4/20/2018, the undersigned Homeowner and Contractor agree to the following change(s) in the work at:

CHANGE IN THE WORK:

Amount

-AS PER ATTACHED PROPOSED CHANGE ORDER MOLD AND
WATER DAMAGED REMEDIATION SPECIFICATIONS FOR WORK
DATED SEPTEMBER 10, 2018
-JOB NUMBER M19016

- | | | |
|-----|---|-----------|
| 1) | Kitchen and family room: remove water damaged & stained materials | \$4,500 |
| 2) | Kitchen – Credit(removal of kitchen walls & soffit | (\$500) |
| 3) | Master shower ceiling- assumed mold growth remediation | \$1,000 |
| 4) | Laundry room-remove all walls, ceiling & cabinetry | \$3,000 |
| 5) | Laundry room – credit entire work item 16, under original scope of work | (\$1,500) |
| 6) | Kitchen Family room- install drywall, tape, finish / paint/ baseboard | \$6,000 |
| 7) | Kitchen-tile floor | \$1,900 |
| 8) | Shower ceiling in master bedroom: install ceiling drywall, tape
finish/paint | \$1,500 |
| 9) | Laundry room- install drywall, tape finish & paint/ baseboard/wood casing | \$4,000 |
| 10) | Laundry room –replace cabinets and countertop | \$3,500 |
| 11) | Plumbing- remove and re-install same hot water heater | \$750 |
| 12) | Mechanical- remove and re-install same air-handling unit | \$1,250 |
| 13) | Master Bathroom- install bathroom humidity control exhaust fan & light | \$1,500 |
| 14) | Family room/Laundry room- miscellaneous electric | \$2,000 |

Total Cost of Change Order # 1	\$28,900
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EXISTING CONTRACT SUM: \$ 36,790

CHANGE ORDER #1 AMOUNT: \$ 28,900

CHANGE ORDER #2 AMOUNT: \$

CHANGE ORDER #3 AMOUNT: \$

AMENDED CONTRACT SUM: \$ 65,690

HOMEOWNER(S):		CONTRACTOR:	
Signature	Signature	Signature	Signature
✓ ILENSPENC	✓	✓	✓
Print Name	Print Name	Print Name	Print Name
Date	Date	Date	Date
11/8/18	✓	11-6-18	✓

The proposed change(s) have been reviewed by the appropriate staff and found to be acceptable.

✓ Andrew Azebeokhai Executive Vice President and Chief Operating Officer Date ✓ 11/21/18	✓ Inspector (Print and sign) Date ✓ 11/29/18
---	--

8569 Pines Boulevard Suite 201, Pembroke Pines FL, 33024

Phone: 954-431-7866 Fax: 954-431-6882



CHANGE ORDER # 2

Homeowner(s): ILENE SPENCE
Contractor: Reliant Construction Group
Address: 6771 PANSY DRIVE 7607 Kismet St
Phone: 954 559 7392 **Phone/Fax** 305 724 7898

In accordance with the Homeowner/Contractor Agreement dated 4/20/2018, the undersigned Homeowner and Contractor agree to the following change(s) in the work at:

CHANGE IN THE WORK:		Amount
1)	Mold remediation (refer to attached estimate #:2018-sp6771)	\$7,684
2)	R & R shower pan, shower stall tile surround, shower floor tile, shower valve and fixtures	\$5,674
Total Cost of Change Order # 1		\$13,358

EXISTING CONTRACT SUM: \$ 36,790
 CHANGE ORDER #1 AMOUNT: \$ 28,900
 CHANGE ORDER #2 AMOUNT: \$ 13,358
 CHANGE ORDER #3 AMOUNT: \$
 AMENDED CONTRACT SUM: \$ 79,048

HOMEOWNER(S):	
✓	✓
Signature	Signature
✓	✓
Print Name	Print Name
Date ✓	Date ✓

CONTRACTOR:	
✓	
Signature	
✓	
Print Name	
Date ✓	

The proposed change(s) have been reviewed by the appropriate staff and found to be acceptable.

✓
Andrew Azebeokhai Executive Vice President and Chief Operating Officer
Date ✓

✓
Inspector – (Print and sign)
Date ✓

8569 Pines Boulevard Suite 201, Pembroke Pines FL, 33024

Phone: 954-431-7866 Fax: 954-431-6882



Community
Redevelopment
Associates
of Florida, Inc.

CHANGE ORDER # 3

Homeowner(s): ILENE SPENCE

Contractor: Reliant Construction Group

Address: 6771 PANSY DRIVE

7607 Kismet St

Phone: 954 559 7392

Phone/Fax 305 975 5596

In accordance with the Homeowner/Contractor Agreement dated 4/20/2018, the undersigned Homeowner and Contractor agree to the following change(s) in the work at

CHANGE IN THE WORK:		Amount
1)	Cabinets did not meet homeowner specifications	\$3,073
Total Cost of Change Order # 3		\$3,073

EXISTING CONTRACT SUM: \$36,790

CHANGE ORDER #1 AMOUNT: \$28,900

CHANGE ORDER #2 AMOUNT: \$13,358

CHANGE ORDER #3 AMOUNT: \$3,073

AMENDED CONTRACT SUM: \$82,121

HOMEOWNER(S):

Signature

Print Name

Date

[Signature]
✓ ILENE SPENCE
✓ 4/2/2019

Signature

Print Name

Date

✓
✓
✓

CONTRACTOR:

Signature

Print Name

Date

[Signature]
✓ HUMMER QUETTAN
✓ 4-2-19

The proposed change(s) have been reviewed by the appropriate staff and found to be acceptable.

✓ [Signature]
Andrew Azebeokhai
Executive Vice President and Chief Operating Officer

Date

✓ 04/04/19

✓ [Signature]
Inspector (Print and sign)

Date

✓ 4/3/19

Reliant Construction Group Inc

7507 Kismet St
Miramar, FL 33023
LIC#: CGC-1522773

PARTIAL PAYMENT INVOICE

PREPARED FOR:
Community Redevelopment Associates of Florida, Inc.

INVOICE DATE:
INVOICE NUMBER

April 2, 2019
19-IL-01

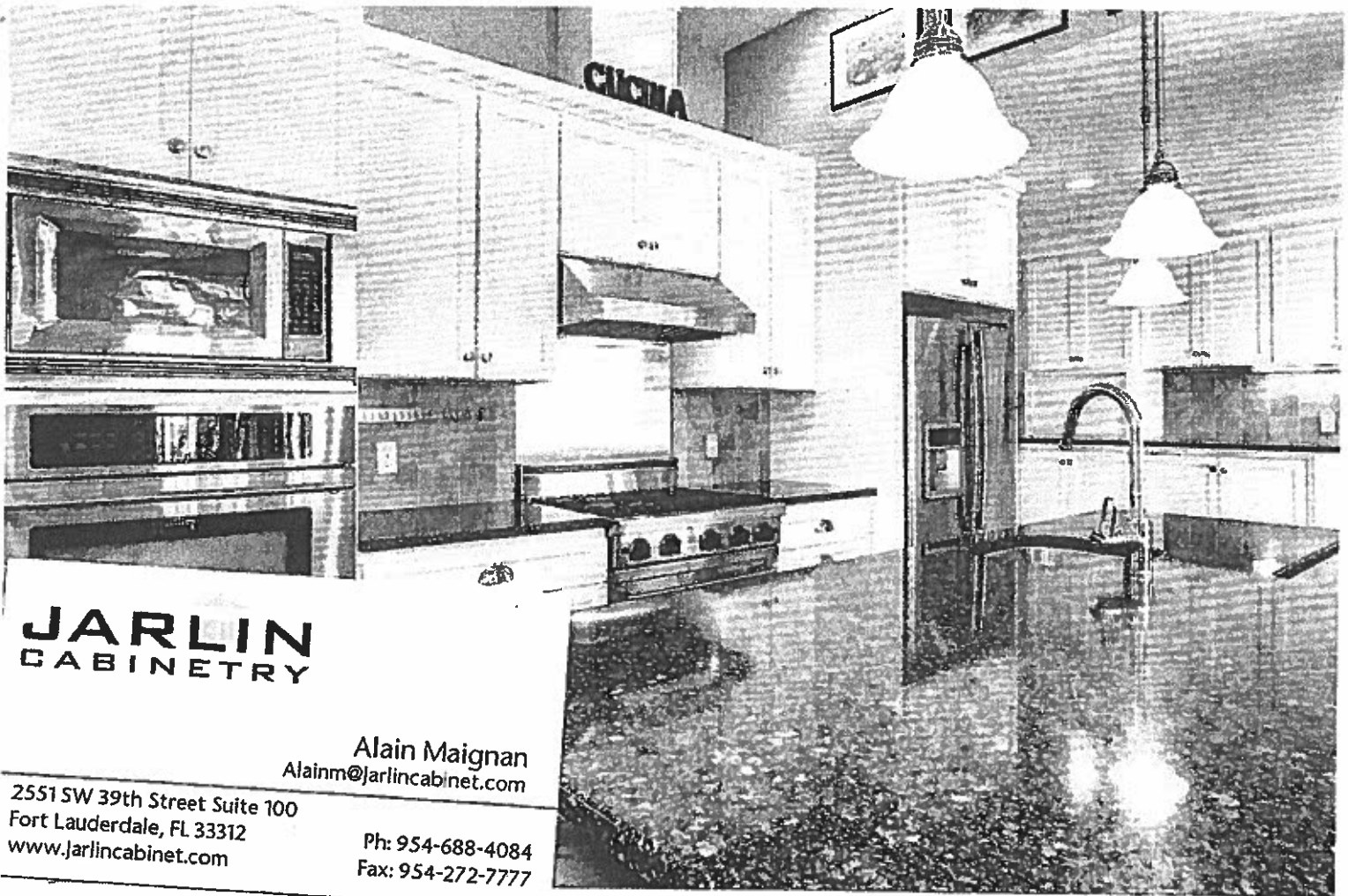
Attn: Mery Sanchez
8569 Pines Boulevard, Suite 201
Pembroke Pines, Florida 33024

Ilene Spence
6771 Pansy Dr
Pembroke Pines, Florida

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
1	NEWPORT CABINETS MODEL NT	2,680.00	2,680.00
1	PROFIT	196.50	196.50
1	ADMINISTRATIVE & OVERHEAD	196.50	196.50
		SUBTOTAL	3,073.00
		TAX	0.00
		FREIGHT	
			\$3,073.00
			PAY THIS AMOUNT

MAKE ALL CHECKS PAYABLE TO:
Reliant Construction Group Inc.
20418 NW 9 av
Miami Gardens, FL 33169

THANK YOU FOR YOUR BUSINESS!



JARLIN
CABINETRY

Alain Maignan
Alainm@jarlincabinet.com

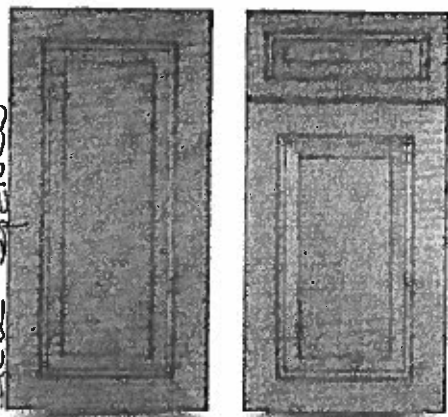
2551 SW 39th Street Suite 100
Fort Lauderdale, FL 33312
www.jarlincabinet.com

Ph: 954-688-4084
Fax: 954-272-7777

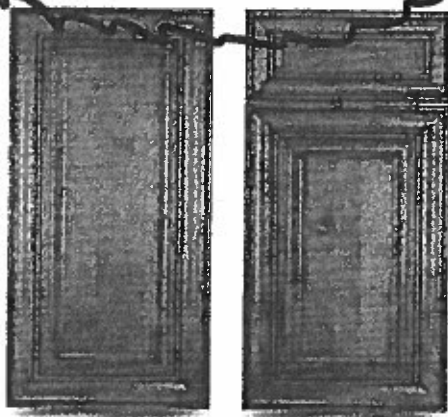


JARLIN
CABINETRY

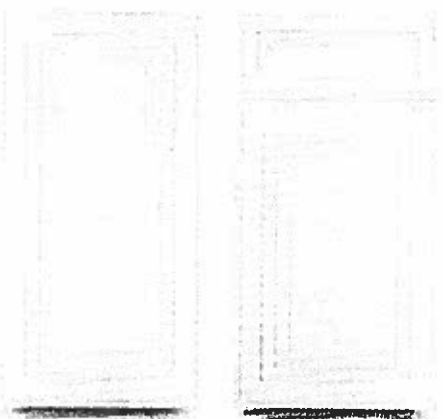
KITCHEN & VANITY DOOR STYLES



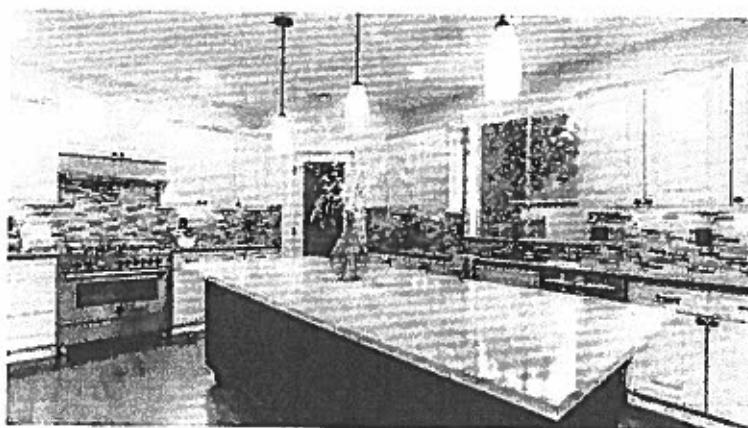
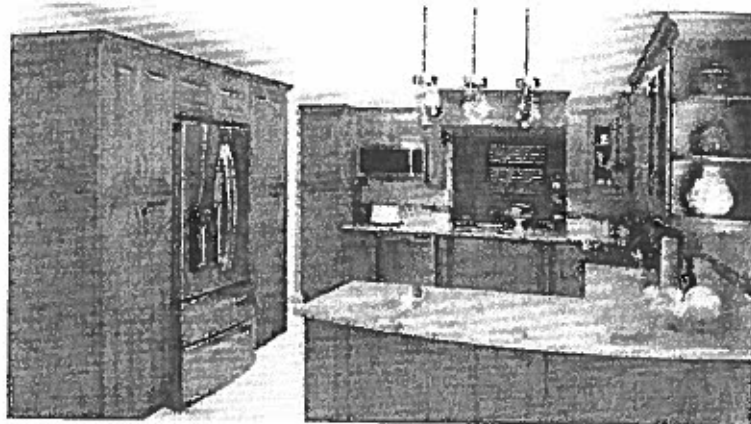
Newport Model: NT



Charlton Model: CT



Perla Model: PE



Premium Collection Features

- 1/2" Thick Grade Plywood Box Construction
- Reversed Raised Center Panel Door
- Full Extension Soft-Closing Under-Mount Glide System
- European Style Fully Concealed Soft-Closing Hinges
- Five Piece Door and Drawer Face
- 3/4" Adjustable Shelves
- Clear Coated Natural Maple Finish Interior
- Full Overlay Doors and Drawers

Printing Limitations

It is impossible to match the colors shown in this brochure with our cabinet stain colors. Therefore you must view the actual door samples when making your selection.

Product Availability

Styles and product available may vary slightly from those shown in the catalog due to material availability and/or improvements to our designs. Check with your sales representative for product specifications before planning your kitchen.



CHANGE ORDER # 4

Homeowner(s): ILENE SPENCE

Contractor: Reliant Construction Group

Address: 6771 PANSY DRIVE

7607 Kismet St

Phone: 954 559 7392

Phone/Fax 305 975 5596

In accordance with the Homeowner/Contractor Agreement dated 4/20/2018, the undersigned Homeowner and Contractor agree to the following change(s) in the work at:

CHANGE IN THE WORK:		Amount
1)	Repair 3 electrical wiring defects in the attic	\$750
Total Cost of Change Order # 4		\$750

EXISTING CONTRACT SUM:	<u>\$36,790</u>
CHANGE ORDER #1 AMOUNT:	<u>\$28,900</u>
CHANGE ORDER #2 AMOUNT:	<u>\$13,358</u>
CHANGE ORDER #3 AMOUNT:	<u>\$3,073</u>
CHANGE ORDER #4 AMOUNT:	<u>\$750</u>
AMENDED CONTRACT SUM:	<u>\$82,871</u>

HOMEOWNER(S):

	✓
Signature	Signature
✓ <u>ILENE SPENCE</u>	✓
Print Name	Print Name
Date <u>4/16/2019</u>	Date ✓

CONTRACTOR:

	✓
Signature	Signature
✓ <u>HIMMLER QUETTAN</u>	✓
Print Name	Print Name
Date <u>4-16-2019</u>	Date ✓

The proposed change(s) have been reviewed by the appropriate staff and found to be acceptable.

✓

Andrew Azabonhai	✓
Executive Vice President and Chief Operating Officer	✓
Date <u>4/22/19</u>	Date ✓

✓

Inspector - (Print and sign)	✓
Date <u>4/18/19</u>	Date ✓

ATTACHMENT 3

