

**CITY OF MIRAMAR
PROPOSED CITY COMMISSION AGENDA ITEM**

Meeting Date: November 17, 2025

Presenter's Name and Title: Deyman Rodriguez, Senior Planner, Building, Planning, & Zoning Department

Prepared By: Sue-ling Rosario, Senior Landscape Planner

Temp. Reso. Number: #R8540

Item Description: TEMP. RESO. #R8540, CONSIDERING A QUASI-JUDICIAL APPEAL, IN ACCORDANCE WITH SECTION 715.1.5.2 OF THE LAND DEVELOPMENT CODE OF THE CITY OF MIRAMAR, OF THE DEVELOPMENT REVIEW COMMITTEE'S ADMINISTRATIVE APPROVAL OF SITE PLAN APPLICATION NO. 2308530 AND BUILDING HEIGHT DEVIATION APPLICATION NO. 2503845 IN CONNECTION WITH A PROPOSED 4-STORY, 18-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON THE PROPERTY LOCATED AT 6340 SOUTHWEST 25TH STREET IN HISTORIC MIRAMAR, MORE SPECIFICALLY IDENTIFIED WITH BROWARD COUNTY PARCEL ID NUMBER 514125040471 AND LEGALLY DESCRIBED IN EXHIBIT "D" ATTACHED HERETO; PROVIDING FOR SEVERABILITY; PROVIDING FOR ADMINISTRATIVE CORRECTION OF SCRIVENER'S ERRORS; AND PROVIDING FOR AN EFFECTIVE DATE.

Consent Resolution Ordinance Quasi-Judicial Public Hearing

Instructions for the Office of the City Clerk: none

Public Notice – As required by the Sec. ____ of the City Code and/or Sec. ____, Florida Statutes, public notice for this item was provided as follows: on _____ in a _____ ad in the _____; by the posting the property on _____ and/or by sending mailed notice to property owners within ____ feet of the property on _____
(fill in all that apply)

Special Voting Requirement – As required by Sec. _____, of the City Code and/or Sec. _____, Florida Statutes, approval of this item requires a _____ (unanimous, 4/5ths etc.) vote by the City Commission.

Fiscal Impact: Yes No

REMARKS: NONE


Content:

- **Agenda Item Memo from the City Manager to City Commission**
- **Resolution TR8540**
 - **Exhibit "A" – Marlene Stewart Request for Quasi-Judicial Hearing**
 - **Exhibit "B" – DRC Administrative Approval Letter**
 - **Exhibit "C" – Najibe Gardens DRC Approved Site Plan**
 - **Exhibit "D" – Property Survey and Legal Description**



**CITY OF MIRAMAR
INTEROFFICE MEMORANDUM**

TO: Mayor, Vice Mayor, & City Commissioners

FROM: Dr. Roy L. Virgin, City Manager 

BY: Nixon Lebrun, Director Building, Planning & Zoning

DATE: November 12, 2025

RE: Temp. Reso. No. 8540, Quasi-Judicial Appeal of the DRC Administrative Approval of Development Applications in connection with a Proposed 4-story, 18-unit Multifamily Residential Development at 6340 SW 25th Street, aka Najibe Gardens West

RECOMMENDATION: The City Manager recommends that, pursuant to Section 715.1.5.2 of the City's Land Development Code ("LDC"), the City Commission holds a quasi-judicial hearing following the notification procedures outlined in Sections 2-96 through 2-105 of the City Code of Ordinances, to consider Ms. Marlene Stewart's quasi-judicial appeal of the Administrative Approval rendered by the City's Development Review Committee ("DRC") on August 4, 2025 and enclosed herein as Exhibit "B," for Site Plan Application No. 2308530 and Building Height Deviation (from the standards of Section 715, Table 6A of the LDC) Application No. 2503845 for a proposed 4-story, 18-unit, multifamily residential development ("the Development") on the property located at 6340 SW 25th Street in Historic Miramar ("Subject Property"). The City Manager further recommends that, upon reviewing the reports and application as well as hearing testimony at the public hearing, the City Commission adopts the accompanying resolution affirming the DRC's Administrative Approval of the land use entitlements of the proposed Development.

ISSUE: Subsection 715.1.5.3 of the LDC provides that whenever a request for a quasi-judicial hearing of the City Commission is made within 30 days of the mailing of the notice of a DRC's administrative decision, such meeting shall be scheduled for the next available City Commission meeting following a review of the request by the Building, Planning and Zoning Department. The City Commission hearing and decision shall be governed by the standards applicable to site plans and administrative approvals under Section 715.1.5 of the LDC. In response to the request for a quasi-judicial hearing on the aforementioned applications filed by Ms. Marlene Stewart (the "Appellant"), this item is being placed on

this meeting agenda so the City Commission can hold the requested hearing and render a final decision to affirm, modify, or reverse the DRC's related Administrative Approval.

BACKGROUND: Alimir Real Estate Holdings LLC ("Alimir" or the "Applicant") is the owner on record of the Subject Property, which, until recently, had been developed with a one-story, 2,639-square foot triplex. Around October of 2023, following the successful construction of two (2) "missing middle housing" developments on similarly-sized parcels in Historic Miramar, Alimir met with Staff in the Building Planning and Zoning Department (the "Department") to discuss another missing middle housing concept on the Subject Property. The new concept involved the construction of a house-scaled apartment building featuring: (1) parking on the ground floor; (2) 4 3-bedroom units, 12 2-bedroom units and 2 1-bedroom units on the second and third floors; and (4) a 1,300- square feet relatively small gym under on the fourth floor. Soon thereafter, Almir formally filed two (2) applications seeking DRC administrative approval for Site Plan Application No. 2308530 and for Building Height Deviation (from the standards of Section 715, Table 6A of the LDC) Application No. 2503845 to accommodate the redevelopment concept. It shall be noted that, at the time of this writing, the Applicant had obtained the necessary building permits (Permit No. 2502511) and subsequently demolished the above-referenced triplex development that previously occupied the Subject Property.

Administrative Approval

Section 715 of the LDC authorizes the administrative review and approval or denial of certain development applications for projects located in the Transit Oriented Corridor District ("TOCD"). Subsection 715.1.5.1 specifically provides that the DRC shall have the authority to administratively approve or deny requests for administrative approval involving deviations from development standards set forth in Table 9A of that section. Subsection 715.1.5.2 also states that site plans for projects within the TOCD area that do not require variances shall be administratively reviewed and approved or denied by the DRC, in accordance with the requirements of Section 310 of the LDC. Both the Site Plan and Building Height Deviation applications submitted in connection with the proposed Development qualified for administrative approvals by virtue of the location of the Subject Property and the nature of these applications. As such, the (2) applications were reviewed pursuant to the applicable LDC criteria.

- A. DRC Administrative Approval of the Site Plan & Height Deviation Applications: On June 25, 2025, at a duly noticed public meeting, the DRC reviewed the site plan submitted by the Applicant against the criteria set forth Section 310.6(a) of the LDC. Upon due consideration of all matters, the DRC determined that the site plan application satisfied all applicable requirements. At that same meeting, the DRC also reviewed the request for a deviation from the maximum building height of three-story requirement set forth in Section 715, Table 6A of the LDC for Transit Oriented Corridor Residential Multifamily (TOC-RM) zoned properties to provide

for a fourth story that will accommodate a small common area gym for the residents. Upon due consideration of all matters, the DRC found the deviation application to satisfy the criteria set forth in Section 715.1.5.1. (b) of the LDC for administratively granting such request. On August 4, 2025, the DRC issued an official letter approving both applications.

- B. Public Notification of the Administrative Approval: Subsection 715.1.3 of the LDC provides that, within five (5) days of the DRC's decision to grant or deny administrative approval of a site plan or other administrative approval under this subsection, the Director shall provide posted and mailed notice of the DRC's decision to the applicant and all owners of property located within 500 feet of the property that is subject to the administrative approvals, advising them of their right to request a quasi-judicial hearing of the City Commission on the application. In compliance therewith, notice of the DRC Administrative Approval of these two (2) applications was mailed to property owners located within a 500-foot radius of the Subject Property on August 6, 2025.
- C. Effective Date of the Administrative Approval and Stay of Proceedings: Pursuant to Subsection 715.1.5.3 of the LDC, the aforementioned administrative approval, incorporated herein as Exhibit "B," were to become effective on September 6, 2025, provided that no request for a quasi-judicial City Commission hearing has been filed by an owner of property located within 500 feet of the Subject Property within 30 days of the related public notification. Nevertheless, on September 3, 2025, Ms. Marlene Stewart, the owner on record of the property located at 6308 SW 25 Street, less than 500 feet from the Subject Property, filed a request for such quasi-judicial hearing incorporated by reference as Exhibit "A". As a result, all proceedings have been stayed on these applications until a final decision is rendered by the City Commission.

DISCUSSION:

In her written request for a quasi-judicial hearing, Ms. Marlene Stewart raised five (5) key objections regarding the proposed redevelopment at 6340 SW 25th Street:

- the overall size and scale of the proposed four-story, 18-unit apartment building compared with surrounding single-family homes;
- the resulting increase in population density;
- the potential for parking shortages and curbside overflow;
- increased neighborhood traffic; and
- potential adverse impacts on single-family property values and neighborhood tranquility.

As prescribed under Section 715.1.5.3 of the LDC, the Department's Director has reviewed Ms. Marlene Stewart's request, acknowledging her long-term residency and

vested interest in that Historic Miramar neighborhood. Each one of her concerns has been judiciously evaluated against the adopted LDC standards, the intent of the TOCD, and the technical findings of the DRC's interdisciplinary review.

The Subject Property has a future land designation of Transit Oriented Corridor ("TOC") on the Future Land Use Map of the City's Comprehensive Plan and a zoning classification of Transit Oriented Corridor Residential Multifamily (TOC-RM) on the City's Official Zoning Map. As further explained, below, the Development is not only permitted by right within the land use context in which it is proposed to be located but also meets the general site plan criteria of Section 310 of the LDC, as applicable for projects within the TOCD. Furthermore, the requested deviation from the 3-story building height maximum to allow a fourth story for a private resident gym does not increase the project's density, footprint, or number of dwelling units, and, in fact, is in keeping with the TOCD's purpose of promoting compact, walkable, and transit-supportive housing near major corridors.

ANALYSIS:

The DRC's approval followed a multi-departmental review process, including Planning and Zoning, Fire, Engineering, Public Works, Solid Waste, Landscaping, Utilities, and Police (CPTED). The site plan and the deviation request were evaluated under Section 310 and Section 715.1.5.1(b) of the LDC for substantial conformance with the applicable requirements and based on the foregoing findings, staff concludes that the Applicant's request satisfies the intent and criteria of the City's LDC.

The Director concurred with the DRC's decision in that the applications satisfy all of the LDC requirements for the review and approval of said applications, especially as they relate to life safety, infrastructure capacity, design compatibility, and neighborhood impact mitigation. These criteria provide the basis of the following analysis and subsequent recommendation to affirm the DRC's Administrative Approval for the proposed Development.

Staff's analysis addresses each of Ms. Stewart's specific concerns as follows:

✓ **Building Size and Scale:**

The proposed 39-foot, four-story structure is consistent with the scale and intent of the TOCD, which envisions transitional building forms between low-density residential neighborhoods and higher-intensity corridors. The additional story is limited to an enclosed amenity space and does not add habitable units, ensuring the project remains compatible with surrounding development patterns.

- ✓ **Population Density:**

The TOCD expressly encourages moderate residential density to support transit use, neighborhood reinvestment, and sustainable growth. The proposed density of 18 units on a 0.4-acre property is within the allowable limits for the TOC-RM zoning subdistrict and does not constitute overdevelopment under the Code. Concentrating additional residents near established transit corridors reduces vehicle dependency and supports local economic vitality, consistent with the City's Comprehensive plan. The increase in population is incremental and managed through adequate infrastructure capacity verified during the DRC review.
- ✓ **Parking and Curbside Overflow:**

The development provides off-street parking spaces in full compliance with Section 718 of the LDC. The parking layout includes sufficient resident and visitor stalls based on the required ratios for multifamily developments of this size. The Applicant also incorporated measures such as defined drive aisles, internal circulation, and bicycle storage to minimize curbside demand. Given these provisions, staff finds no basis to conclude that the development will generate on-street parking overflow.
- ✓ **Traffic Congestion:**

According to the latest Trip Generation Manual published by the Institute of Transportation Engineers (ITE), the proposed 18-unit development is expected to generate approximately six trips during the AM peak hour. This represents a minimal impact on neighborhood traffic and will not result in adverse traffic conditions. Additionally, the site's proximity to transit routes along SW 25 Street and SW 64 Avenue offers convenient alternative transportation options, further reducing reliance on private vehicles. Therefore, staff concludes that the proposed project will not materially affect neighborhood traffic conditions or public safety.
- ✓ **Property Values and Neighborhood Character:**

Concerns regarding property value impacts are understood but speculative. Empirical data from comparable infill redevelopment projects within Miramar and other South Florida municipalities show that modern, code-compliant multifamily development often stabilizes or enhances nearby property values by removing blighted structures, improving streetscapes, and attracting reinvestment. The limited height deviation does not alter the residential nature of the neighborhood, as the development remains entirely residential in use and design.

CONCLUSION:

Based on the foregoing, the Department finds the DRC's Administrative Approval of the two (2) applications is consistent with the purpose and intent of the TOCD and the City's Comprehensive Plan, as they satisfy all the related review criteria set forth in the LDC. Furthermore, they will enable a development that strikes a balanced and context-sensitive "missing middle housing" project that furthers the City's long-term vision for sustainable urban living. Therefore, staff respectfully recommends that the City Commission uphold the DRC's Administrative Approval of Application Nos. 2308530 and 2503845 for the Najibe Gardens West development.

Temp. Reso. No. 8540

9/8/25

11/12/25

**CITY OF MIRAMAR
MIRAMAR, FLORIDA**

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF MIRAMAR, FLORIDA, CONSIDERING A QUASI-JUDICIAL APPEAL, IN ACCORDANCE WITH SECTION 715.1.5.2 OF THE LAND DEVELOPMENT CODE OF THE CITY OF MIRAMAR, OF THE DEVELOPMENT REVIEW COMMITTEE'S ADMINISTRATIVE APPROVAL OF SITE PLAN APPLICATION NO. 2308530 AND BUILDING HEIGHT DEVIATION APPLICATION NO. 2503845 IN CONNECTION WITH A PROPOSED 4-STORY, 18-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON THE PROPERTY LOCATED AT 6340 SOUTHWEST 25TH STREET IN HISTORIC MIRAMAR, MORE SPECIFICALLY IDENTIFIED WITH BROWARD COUNTY PARCEL ID NUMBER 514125040471 AND LEGALLY DESCRIBED IN EXHIBIT "D," ATTACHED HERETO; PROVIDING FOR SEVERABILITY; PROVIDING FOR ADMINISTRATIVE CORRECTION OF SCRIVENER'S ERRORS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 715 of the City's Land Development Code (the "LDC") establishes the Transit Oriented Corridor District ("TOCD") to encourage compact, transit-supportive development, consistent with the Goals, Objectives and Policies of the Future Land Use Element of the City's Comprehensive Plan, more specifically Policy 1.17 and Objective 9D thereof; and

WHEREAS, the TOCD comprises the area bound to the north by Pembroke Road, to the east by State Road 7, to the south by County Line Road, and to the west by Southwest 66th, 61st and 64th Avenues; and

Reso. No. _____

WHEREAS, as an incentive to encourage development and redevelopment within the TOCD, site plans are subject to administrative review by the Development Review Committee (“DRC”), who shall have the authority to determine whether the site plan is in substantial conformance with the established criteria of Section 310 of the LDC; and

WHEREAS, Alimir Real Estate Holdings LLC (“the Owner”), a Florida Limited Liability Company, is the owner of record of the approximately 0.37-acre parcel located at 6340 Southwest 25th Street, identified with Broward County Parcel ID Number 514125040471, and legally described in Exhibit “D,” attached hereto and made a part thereof (the “Subject Property”); and

WHEREAS, the Subject Property consists of approximately 0.4 acres, is located within the TOCD and is zoned Residential Multifamily (“TOC-RM”) on the City’s Official Zoning Map; and

WHEREAS, the Applicant has proposed to redevelop the Subject Property, previously improved with a triplex, into an 18-unit, four-story multifamily residential building entitled “New Residential Development Miramar 6340” a/k/a “Najibe Gardens West” (the “Development”); and

WHEREAS, in October 2023, the Applicant submitted to the City of Miramar Application No. 2308530 (Site Plan) and Application No. 2503845 (Administrative Deviation from Development Standards) requesting:

1. Administrative site plan approval for the proposed development pursuant to Section 310.6(a) of the City’s LDC; and

2. Administrative approval for a deviation of Development Standards to allow a limited fourth story to accommodate a small resident fitness gym, as permitted under Section 715.1.5.1(b) of the LDC; and

WHEREAS, as provided under Sections 715.1.5 and 715.1.6 of the LDC, the City's DRC is authorized to administratively review and approve such applications for qualifying TOCD projects; and

WHEREAS, pursuant to Section 310 of the LDC, the DRC has reviewed and evaluated the Site Plan Application No. 2308530 and found the site to be in substantial conformance with the applicable requirements, including those set forth in Section 310.6 of the LDC; and

WHEREAS, after due notice and public meeting held on June 25, 2025, the DRC reviewed the applications and determined that the proposed development and requested deviation satisfied all applicable requirements of the LDC and were consistent with the goals and objectives of the TOCD; and

WHEREAS the DRC issued an Administrative Approval Letter, incorporated herein as Exhibit "B" for both applications and soon thereafter mailed a notice of its decision to surrounding property owners within 500 feet of the Subject Property, as required by Section 715.1.3 of the LDC; and

WHEREAS, within the 30-day appeal period prescribed by Section 715.1.5.3 of the LDC, Ms. Marlene Stewart, owner of property located at 6308 SW 25th Street, timely filed a written request for a quasi-judicial hearing before the City Commission, citing concerns related to building height, density, parking, traffic, and neighborhood compatibility incorporated herein as Exhibit "A;" and

WHEREAS, pursuant to Section 715.1.5.3, all proceedings on the administrative approvals were stayed pending the outcome of this appeal; and

WHEREAS, the City Commission, acting in its quasi-judicial capacity, duly noticed and held a hearing on the appeal in accordance with the LDC and Florida law, receiving evidence and testimony from City staff, the Applicant, the Appellant, and members of the public; and

WHEREAS, the Director Building, Planning & Zoning Department reviewed the request for a quasi-judicial hearing on these applications and concluded that the DRC did not err in its decision in that that the project complies with the density, setback, parking, open space, and design standards of the TOCD, and in that, in terms of compatible the limited fourth story, comprising approximately 1,300 square feet, is intended solely for a private resident gym and does not increase the number of dwelling units, building footprint, or floor area ratio;

WHEREAS, the Director believed that the project furthers the TOCD's goals of compact, pedestrian-friendly, and transit-supportive residential development; and

WHEREAS, the City Manager recommended that the City Commission uphold the DRC's administrative approvals as consistent with the intent and purpose of the TOCD and the City's Comprehensive Plan; and

WHEREAS, the City Commission, having considered the substantial evidence presented and the applicable criteria of the LDC, has determined that it is in the public interest to adopt this Resolution, which to affirms the DRC's Administrative Approvals of Application Nos. 2308530 and 2503845 for the Najibe Gardens West development.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF MIRAMAR, FLORIDA AS FOLLOWS:

Section 1: Section 1: Recitals; Definitions. That the foregoing “WHEREAS” clauses are ratified and confirmed as being true and correct and are made a specific part of this Resolution.

Section 2: Adoption. The City Commission of the City of Miramar, Florida, hereby passes and adopts the Resolution affirming the Development Review Committee’s Administrative Approval of: (1) Application No. 2308530 for the Site Plan of an 18-dwelling unit apartment building on the Subject Property; and (2) Application No. 2503845 for a Deviation from the three-story maximum standard set forth in Section 715, Table 6A of the Land Development Code of the City of Miramar, to allow a fourth story for a small resident gym, as further depicted in Exhibit “C;”

Section 3: Conditions of Approval. That upon adoption of this Resolution, all of the conditions of approval listed the Development review Committee’s Administrative Approval Letter, enclosed herein as Exhibit “B,” shall remain and shall be deemed incorporated herein by reference and made a part of this approval.

Section 4: Severability. That should any phrase, clause, sentence, paragraph, or section of this Resolution be declared unconstitutional by the valid judgment or decree of a court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining portions or applications which shall remain in full force and effect.

Section 5: Administrative Correction of Scrivener’s Error. The City Attorney is hereby authorized to correct scrivener’s errors found in this Resolution by filing a corrected copy with the City Clerk.

Temp. Reso. No. 8540

9/8/25

11/12/25

Section 6: Effective Date. That this Resolution shall become effective upon adoption.

PASSED AND ADOPTED this _____ day of _____, _____.

Mayor, Wayne M. Messam

Vice Mayor, Yvette Colbourne

ATTEST:

City Clerk, Denise A. Gibbs

I HEREBY CERTIFY that I have approved this RESOLUTION as to form:

City Attorney,
Austin Pamies Norris Weeks Powell, PLLC

<u>Requested by Administration</u>	<u>Voted</u>
Commissioner Maxwell B. Chambers	_____
Commissioner Avril Cherasard	_____
Vice Mayor Yvette Colbourne	_____
Commissioner Carson Edwards	_____
Mayor Wayne M. Messam	_____

EXHIBIT "A"

September 3, 2025

Marlene Stewart
6308 SW 25 St.
Miramar, Florida. 33023

Subject: Appeal of Administrative DRC Site Plan Approval for Site Plan Application No. 2308530 for Property located at 6340 SW 25 Street, Miramar Fl. 33023

To whom it may concern.

Pursuant to Section 715.1.5.3, of the City's Land Development Code, I am requesting a Quasi-Judicial City Commission hearing on the recent DRC approval of the above-captioned application.

My name is Ms. Marlene Stewart and I live at 6308 SW 25 St well within the maximum 500-foot Radius stipulation under this Land Development Code Section.

My objection to this proposal is, I have resided at my present address as a homeowner going on thirty years, located in Historical Miramar.

I have spoken to several of my neighbors who are concerned as I am, regarding the size of this Proposed 18 Unit, four story building. It presently has a Triplex Building on the property located at the corner of SW 25 St and SW 64 Ave.

2) High population density from the rental apartments. on the surrounding single family residential Homeowners.

3) Marginal parking and the overflow from this, plus tenant visitors, puts all available neighborhood Curbside parking under pressure.

4) Traffic congestion in our residential neighborhood.

5) The real estate value or single family houses will go down due to lack of peaceful environment as the apartment complex gets very busy.

Thank You for considering Our Neighborhood Appeal

Ms. Marlene Stewart and Neighbors.

Marlene Stewart.



City of Miramar

An Equal Opportunity Employer

Mayor

Wayne M. Messam

Vice Mayor

Yvette Colbourne

City Commission

Maxwell B. Chambers

Avril K. Cherasard

Carson Edwards

City Manager

Dr. Roy Virgin

**"We're at the
Center of Everything"**

**Building,
Planning & Zoning**

2200 Civic Center Place
Miramar, FL 33025

Phone (954) 602-3200

FAX (954) 602-3448

August 4, 2025

Allan Baksh
6340 Southwest 25th Street
Miramar, FL 33023

**DEVELOPMENT REVIEW COMMITTEE
APPROVAL LETTER**

RE: New Residential Development Miramar 6340 a.k.a.
Najibe Gardens West

LEGAL: LOT 17, BLOCK 8, MIAMI GARDENS ESTATES
SECTION "2"

Dear Allan Baksh,

The City of Miramar's Development Review Committee ("DRC") has approved Site Plan Application No. 2308530 and associated Height Variance Application No. 2503845, for the proposed 18-dwelling unit multi-family residential development, entitled "Najibe Gardens West", located at 6340 Southwest 25 Street in Miramar, Florida. The DRC is granting the allowance of a fourth story to accommodate a 1,296-square foot amenity area that is to be used as a gym for residents.

This letter serves as your official record of City of Miramar DRC administrative approval granted on June 25, 2025, with the following set of conditions:

1. All applicable state and federal permits shall be obtained before commencement of the Development subject to this approval; and
2. Prior to the issuance of a building, engineering, and landscaping permit, the applicant shall obtain a Tree Removal/Relocation Permit and pay for any outstanding mitigation fees; and
3. Any future renovation or exterior painting of the buildings and structures on the Subject Property subsequent to this approval shall be subject to the City's prior approval in accordance with the established design standards and Community Appearance procedures in effect at that time, including façade improvements, prior to the issuance of a building or zoning (repainting) permit.



City of Miramar
An Equal Opportunity Employer

Pursuant to Land Development Code (“LDC”) Section 715.1.5.3, the development approval shall become effective upon the adjournment of the thirty (30) day appeal period. In the event that the administrative decision of the Development Review Committee (DRC) is contested, the final determination of the development application(s) shall rest with the City Commission.

Pursuant to LDC Sections 310 and 311, modifications or amendments to the DRC-approved plans will require consideration by either Staff, the DRC, and/or the City Commission, and such modifications must be approved prior to a building permit approval.

Sincerely,

Deyman Rodriguez, Senior Planner & Chair of the DRC
Building, Planning & Zoning Department

cc: Nixon Lebrun, Director
Tekisha Jordan, Assistant Director
Frensky Magny, Senior Planner

CITY OF MIRAMAR

APPROVAL

DEVELOPMENT REVIEW COMMITTEE

DATE: 06/25/2025

NEW RESIDENTIAL DEVELOPMENT MIRAMAR 6340

6340 SW 25TH ST MIRAMAR FL. - CORNER OF 64 AVE. & SW 25TH ST.

PROJECT TEAM

ARCHITECT OF RECORD:



2310 HOLLYWOOD BLVD.
HOLLYWOOD, FL. 33020
www.sklararchitect.com
TEL - (954) 925-9292
FAX - (954) 925-6292

AA 0002849
IB 0000894
NCARB CERTIFIED

CIVIL:
ATLANTIC ENGINEERING SERVICES, INC.
Imtiaz Ahmed, P.E., C.G.C.
President
Ph: (561) 358-4140
Fax: (561) 922-6765
Email: atlanticengserv@gmail.com

LANDSCAPE:
LANDSCAPE ARCHITECTURE
Kimberly Moyer, P.L.A.
M. (954) 492-9695
e-mail: k.moyerfa@gmail.com

OWNER:
ALIMV REAL ESTATE HOLDING LLC
Mr. Allandin Baksh
2671 Forest Dr. Miramar, FL 33025

SCOPE OF WORK

NEW 3 STORIES RESIDENTIAL BUILDING PLUS ROOFTOP AMENITIES LEVEL APPROX. AREA 16,078 SF

18 RESIDENTIAL UNITS

40 PARKING SPACES PROPOSED:
33 OFF STREET SPACES (2 ADA SPACES)
7 ON STREET.

PROJECT PRELIMINARY RENDERING



DRAWING INDEX

- A6.3 NORTH EAST VIEW
- SU-1 SURVEY
- ARCHITECTURE
- A0.0 COVER
- A0.1 AREA PLANS
- A1.0 SITE PLAN
- A1.1 SITE PLAN B&W
- A1.2 SITE PLAN DETAILS
- A1.3 DETAILS ADA / MISC.
- A1.4 LINE OF SIGHT DIAGRAM & ADDRESS SIGNAGE
- A1.5 SITE - LIGHT BOLLARDS & WALL SCONCES
- A2.0 GROUND FLOOR
- A2.1 2ND FLOOR TYP.
- A2.2 3RD FLOOR TYP.
- A2.3 ROOF PLAN
- A3.0 WEST & NORTH ELEVATIONS
- A3.1 EAST & SOUTH ELEVATIONS
- A4.0 SECTIONS
- A5.0 ENLARGED STUDIO UNIT 101 & 102
- A5.1 ENLARGED LOBBY & OFFICE & TRASH CHUTE
- A5.2 ENLARGED UNITS TYPES - SECOND & THIRD FLOOR
- A5.3 ENLARGED UNITS TYPES - SECOND & THIRD FLOOR
- A6.0 NORTH WEST VIEW
- A6.1 SOUTH WEST VIEW
- A6.2 SOUTH EAST VIEW
- PH1.0 PHOTOMETRICS NORMAL

- PH1.1 PHOTOMETRICS EM
- D-1 DEMOLITION

- SFP-1 SITE FIRE PROTECTION PLANS
- SURVEY
- S SURVEY

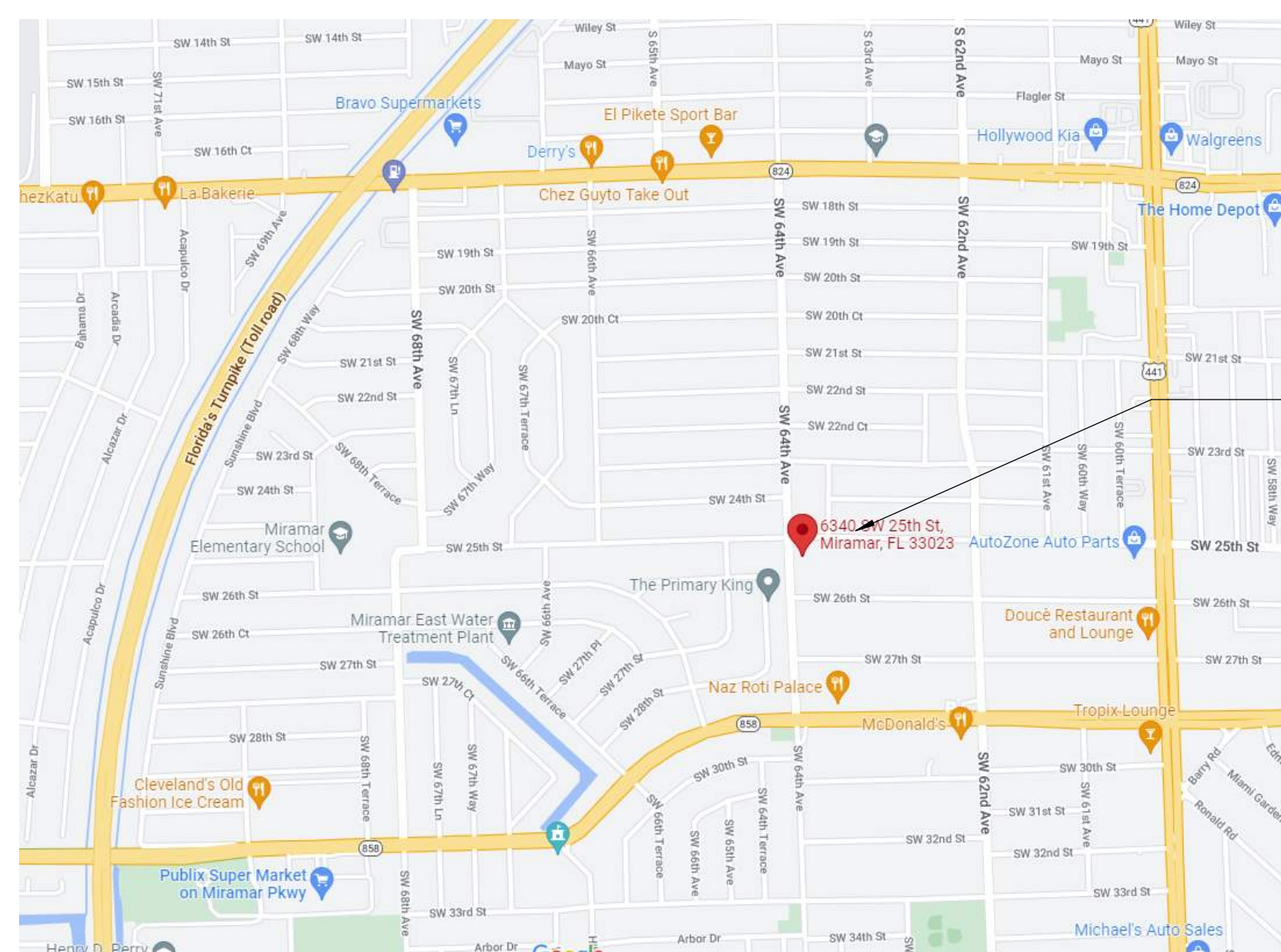
LANDSCAPE

- L-1 LANDSCAPE PLAN
- TD-1 TREE DEPOSITION PLAN
- CIVIL
- D1 SURVEY
- D2 SILF FENCE
- PD1 PAVING, GRADING AND DRAINAGE PLAN
- PD2 PAVING, GRADING AND DRAINAGE PLAN
- WS1 WATER AND SEWER PLAN
- WS2 DETAILS
- WS3 DETAILS
- WS4 DETAILS
- PM1 SIGNING AND MARKING NOTES

ZONING DATA

GENERAL		
ZONING:	TRANSIT ORIENTED CORRIDOR RESIDENTIAL MULTI-FAMILY, TOC-RM	
LAND USE:	MEDIUM DENSITY RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE: AH N.A.V.D = 8'	
WATER /WASTEWATER SERVICE PROVIDER:	CITY OF MIRAMAR	
REQ'D/ALLOWED	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	3,600 SF	16,078 SF / 0.3691 ACRES
MINIMUM LOT WIDTH:	50 SF	85 SF
MAX. LOT COVERAGE	80% = 12,862.40 SF	71.70% = 11,528 SF
BUILDING FRONTAGE	50% MINIMUM	90.58% = 77' - 2"
REQ'D/ALLOWED	REQUIRED	PROPOSED
BUILD-TO-LINE (FEET):	FRONT (NORTH): 10'	FRONT (NORTH): 0'
MINIMUM SETBACKS (FEET):	SIDE INTERIOR (EAST): 5'	SIDE (EAST): 5'-7"
	SIDE STREET & CORNER (WEST): 10'	* SIDE (WEST): 10'-0"
	REAR (SOUTH): 10'	REAR (SOUTH): 10' - 0" / 13' - 5"
BUILDING HEIGHT:	3 STORIES	3 STORIES (ROOF TOP 30'-0")
TOTAL (GROSS) DENSITY:		18 UNITS / 0.3691 ACRES = 48.76 UNITS PER ACRE
HARDSCAPE		
PROPOSED BUILDINGS	N/A	2,424 SF = 15.08 %
VEHICULAR USE AREA	N/A	9,974 SF = 62.04 %
SIDEWALKS/WALKWAYS	N/A	476 SF = 2.96 %
TOTAL HARDSCAPE AREA		12,866 SF = 80.08 %
OPEN SPACE	REQUIRED	PROPOSED
OPEN SPACE	5% = 708.30 SF	4,550 SF = 28.30 %
GREEN SPACE	N/A	3,229 SF = 20.08%
TOTAL PERVIOUS AREA		7,779 SF = 48.38%
RESIDENTIAL UNITS		
2 UNITS - 1 BEDROOM	MIN 500 SF	625 SF
12 UNITS - 2 BEDROOM	MIN 900 SF	1,050 SF
4 UNITS - 3 BEDROOM	MIN 1,000 SF	1,386 SF
TOTAL		18 UNITS
PARKING	REQUIRED	PROPOSED
2 UNITS - 1 BEDROOM	1.5 /unit = 3 PARKING SPACES	35 PARKING SPACES PROPOSED OFF STREET 29 SPACES 2 EV SPACES 2 ADA SPACE ON STREET 2 SPACES
12 UNITS - 2 BEDROOM	2.0 /unit = 24 PARKING SPACES	
4 UNITS - 3 BEDROOM	2.5 /unit = 10 PARKING SPACES	
QUEST	10% = 3.7 PARKING SPACES	
SUBTOTAL	41 PARKING SPACES	
REDUCTION	35% REDUCTION = 14.35 PARKING SPACES	
TOTALS	26 PARKING SPACES REQUIRED	

LOCATION MAP



LOCATION OF WORK

SCALE: N.T.S.

LEGAL DESCRIPTION

THIS PROPERTY IS DESCRIBED AS:

PROPERTY ID #: 514125040471

ADDRESS: 6340 SW 25TH STREET MIRAMAR, 33023-2828

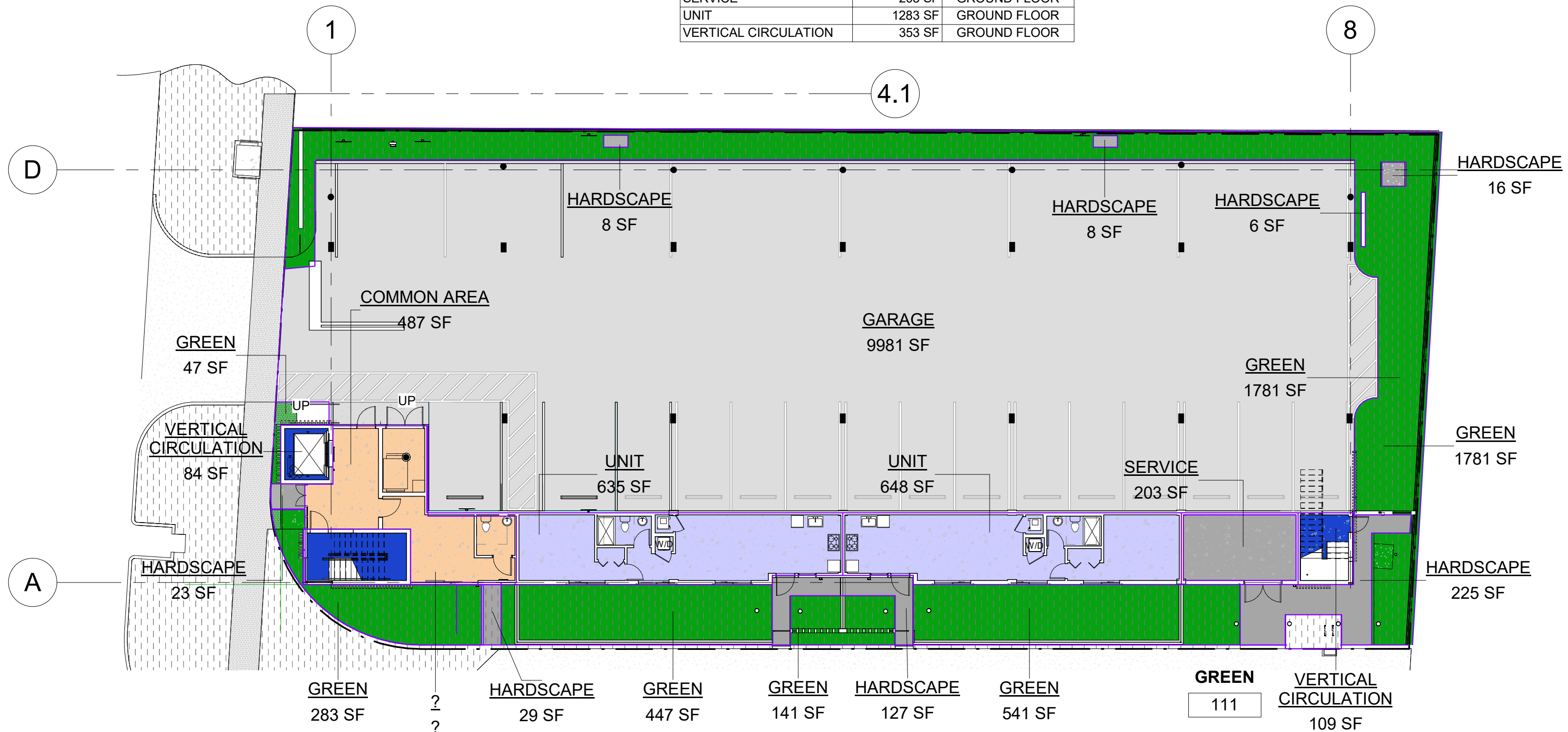
MIAMI GARDENS ESTATES SEC 2 22-33 B LOT 17 BLK 8

*COMBINED SET, SIGN & SEAL ON COVER PAGE APPLY FOR ALL ARCHITECTURE DRAWINGS ON 02/19/25 (SEE INDEX BELOW)

GROSS AREA CALCULATIONS

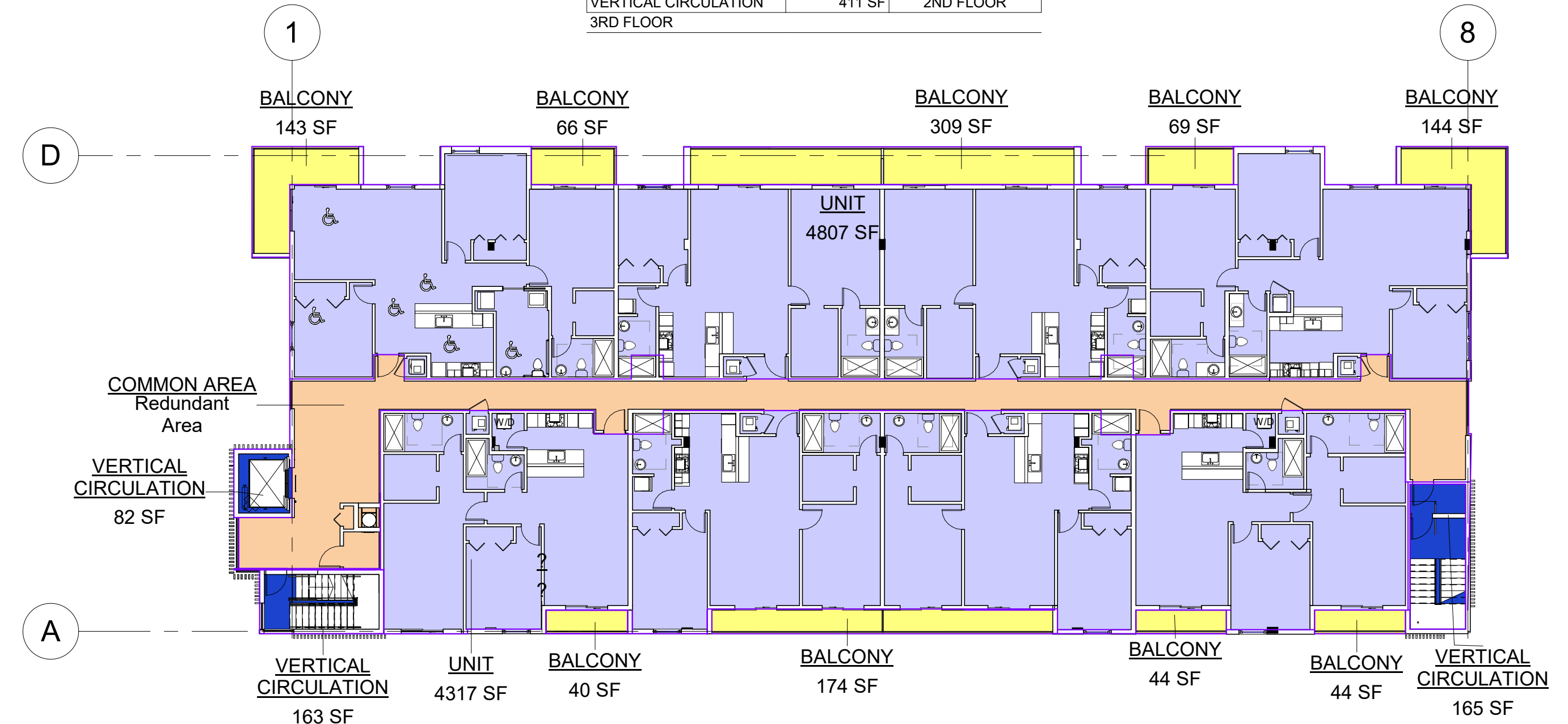
	UNITS	COMMON AREA	GARAGE	BALCONIES	SERVICE	V. CIRCULATION	HARDSCAPE	GREEN SPACE	TOTALS
GROUND FLOOR	1,298.00	167.00	9,982.00		599.00	355	388.00	3,288.00	16,077.00
2ND FLOOR	8,804.00	1,334.00		826.00	94.00				11,496.00
3RD FLOOR	8,803.00	1,346.00		636.00	95.00	429			11,327.00
SUB-TOTALS	18,905.00	2,847.00	9,982.00	1,462.00	788.00		388.00	3,288.00	37,678.00
FAR			31,732.00						

Area Schedule (Rentable)		
Name	Area	Level
GROUND FLOOR		
COMMON AREA	487 SF	GROUND FLOOR
GARAGE	9981 SF	GROUND FLOOR
GREEN	3240 SF	GROUND FLOOR
HARDSCAPE	443 SF	GROUND FLOOR
SERVICE	203 SF	GROUND FLOOR
UNIT	1283 SF	GROUND FLOOR
VERTICAL CIRCULATION	353 SF	GROUND FLOOR



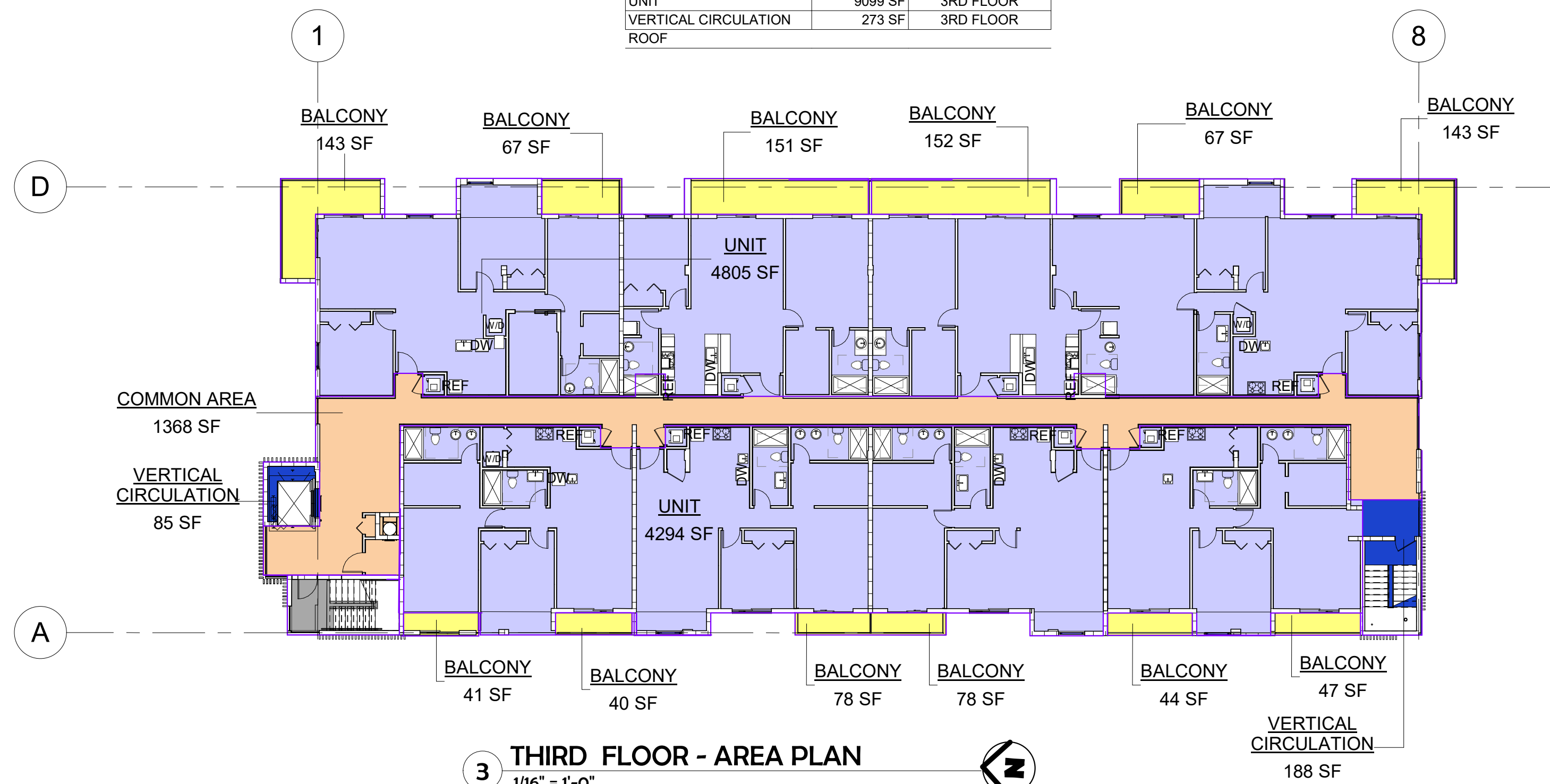
1 GROUND FLOOR - AREA PLAN
1/16" = 1'-0"

Area Schedule (Rentable)		
Name	Area	Level
2ND FLOOR		
BALCONY	1032 SF	2ND FLOOR
COMMON AREA	1334 SF	2ND FLOOR
UNIT	9124 SF	2ND FLOOR
VERTICAL CIRCULATION	411 SF	2ND FLOOR
3RD FLOOR		



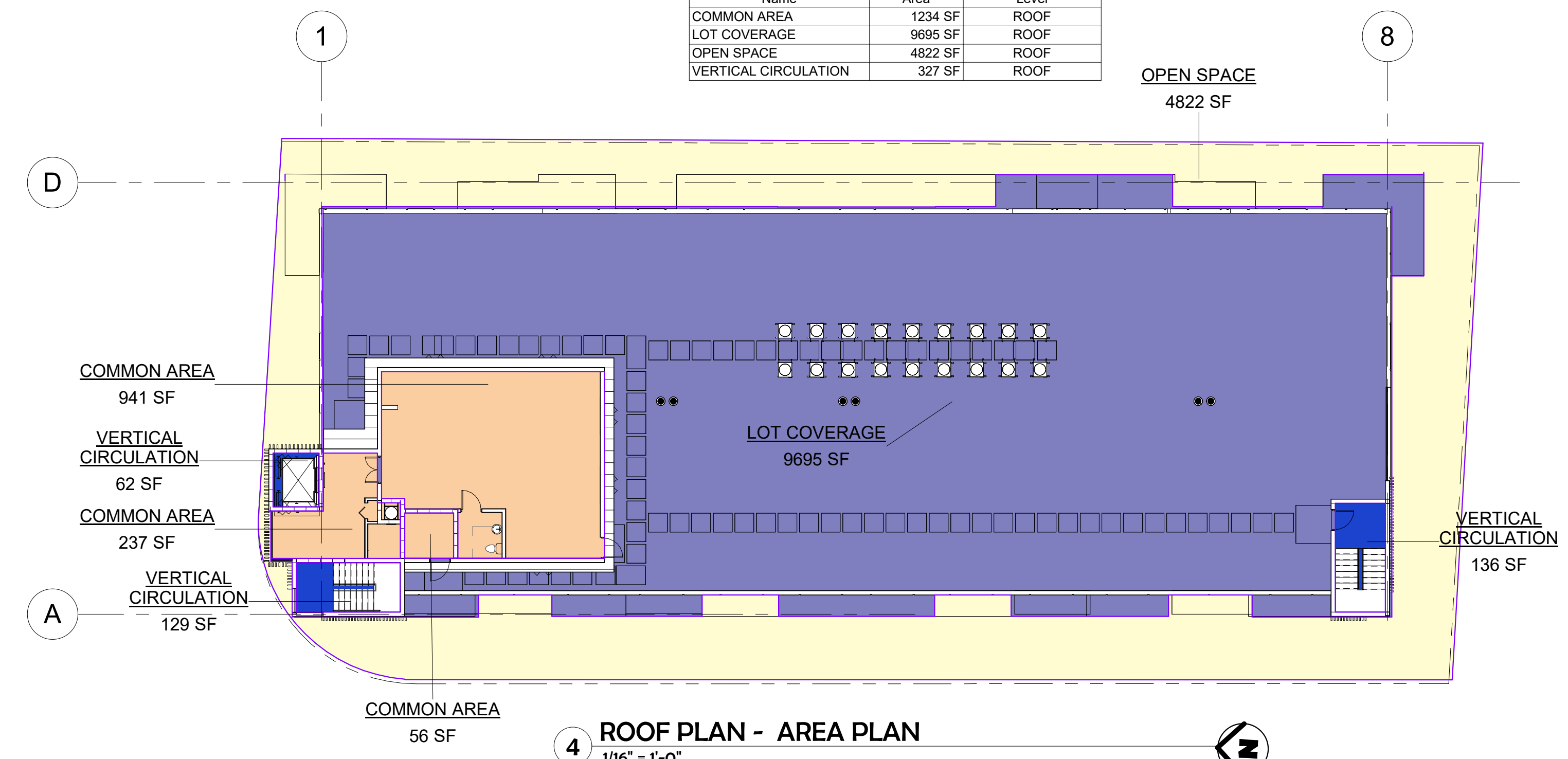
2 SECOND FLOOR - AREA PLAN
1/16" = 1'-0"

Area Schedule (Rentable)		
Name	Area	Level
3RD FLOOR		
BALCONY	973 SF	3RD FLOOR
COMMON AREA	1368 SF	3RD FLOOR
SERVICE	156 SF	3RD FLOOR
UNIT	9099 SF	3RD FLOOR
VERTICAL CIRCULATION	273 SF	3RD FLOOR
ROOF		



3 THIRD FLOOR - AREA PLAN
1/16" = 1'-0"

Area Schedule (Rentable)		
Name	Area	Level
ROOF		
COMMON AREA	1234 SF	ROOF
LOT COVERAGE	9695 SF	ROOF
OPEN SPACE	4822 SF	ROOF
VERTICAL CIRCULATION	327 SF	ROOF



4 ROOF PLAN - AREA PLAN
1/16" = 1'-0"

GROSS AREA CALCULATIONS									
	UNITS	COMMON AREA	GARAGE	BALCONIES	SERVICE	V. CIRCULATION	HARDSCAPE	GREEN SPACE	TOTALS
GROUND FLOOR	1,298.00	487.00	9,982.00	355	599.00	355	388.00	3,288.00	16,077.00
2ND FLOOR	8,804.00	1,334.00		826.00	94.00	438			11,496.00
3RD FLOOR	8,801.00	1,346.00		656.00	95.00	429			11,327.00
SUB-TOTALS	18,903.00	2,847.00	9,982.00	1,482.00	788.00		388.00	3,288.00	37,678.00
FAR			31,732.00						

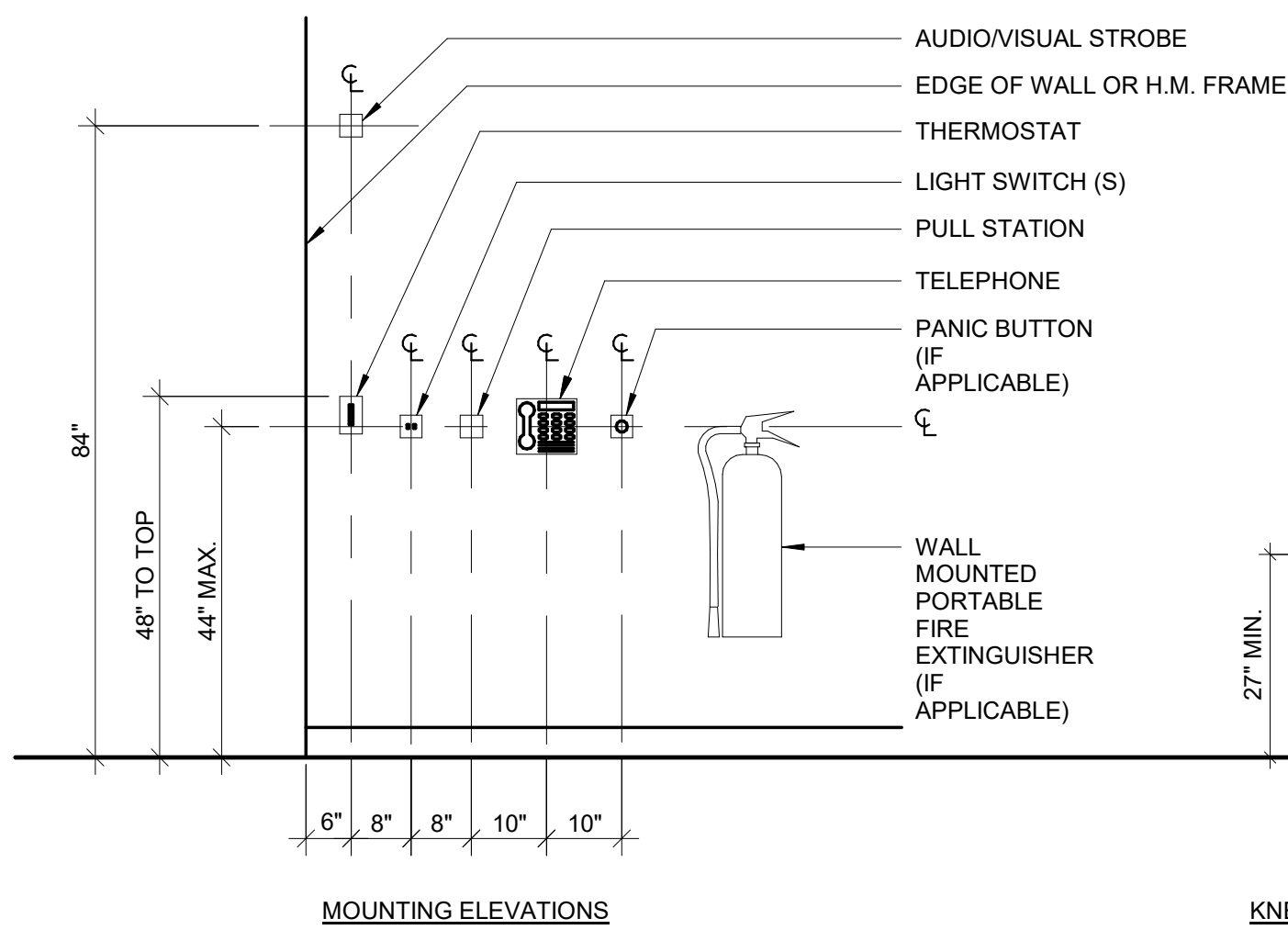
CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

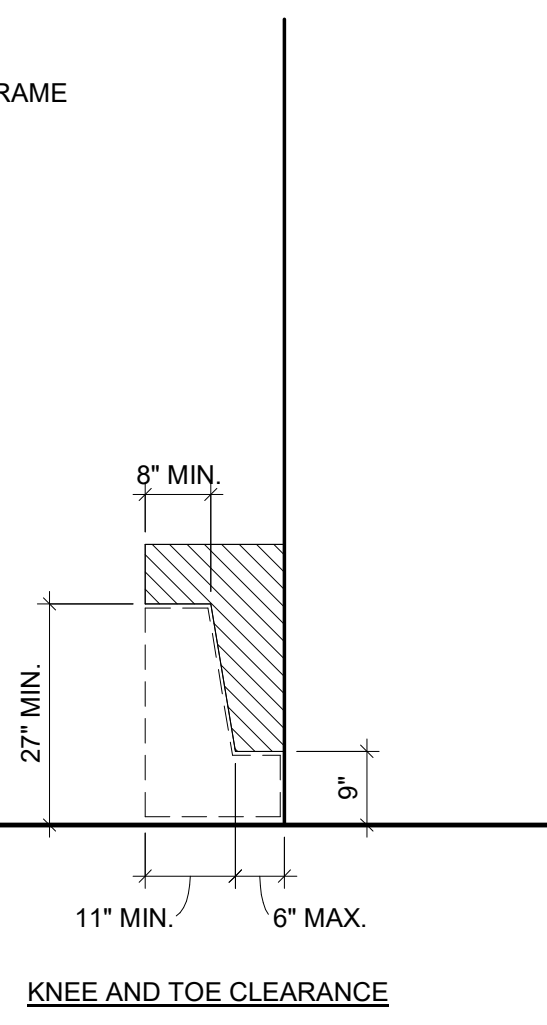
AREA PLANS

Project #22-016

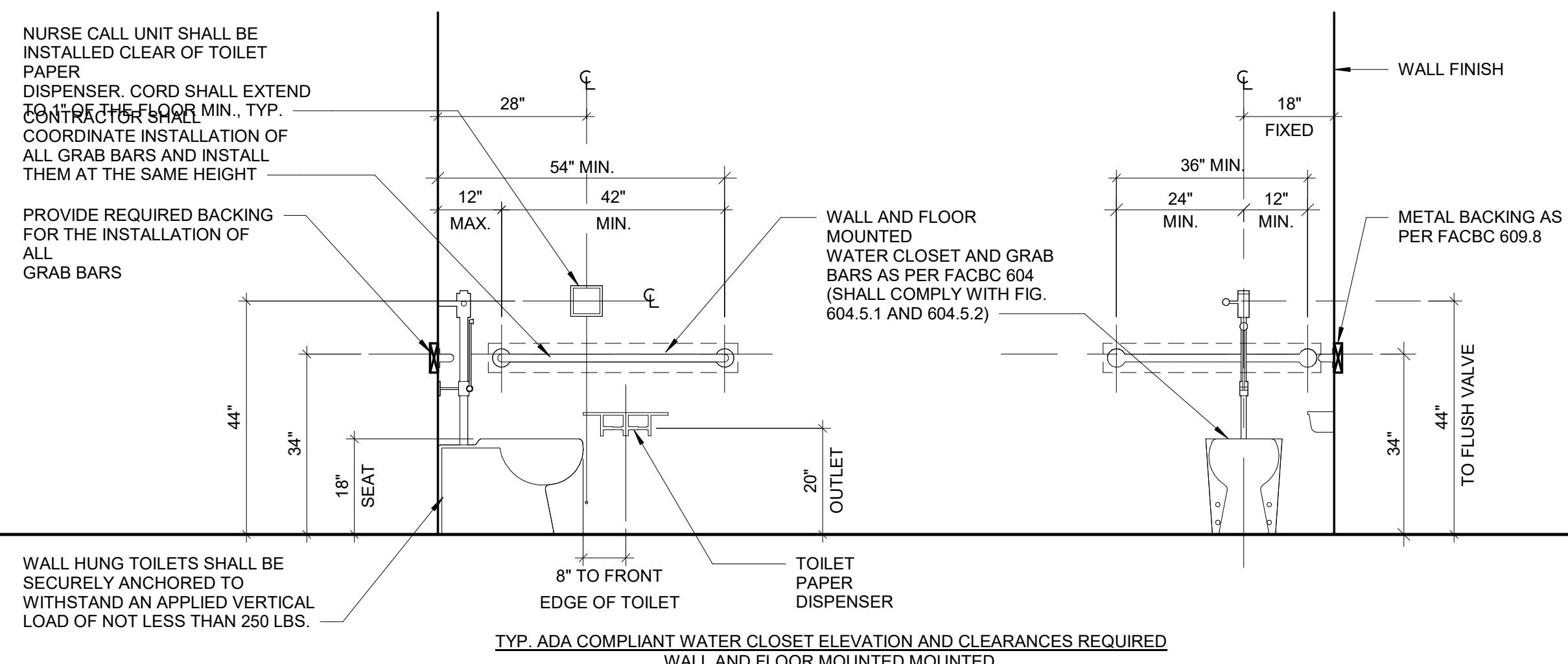
A0.1



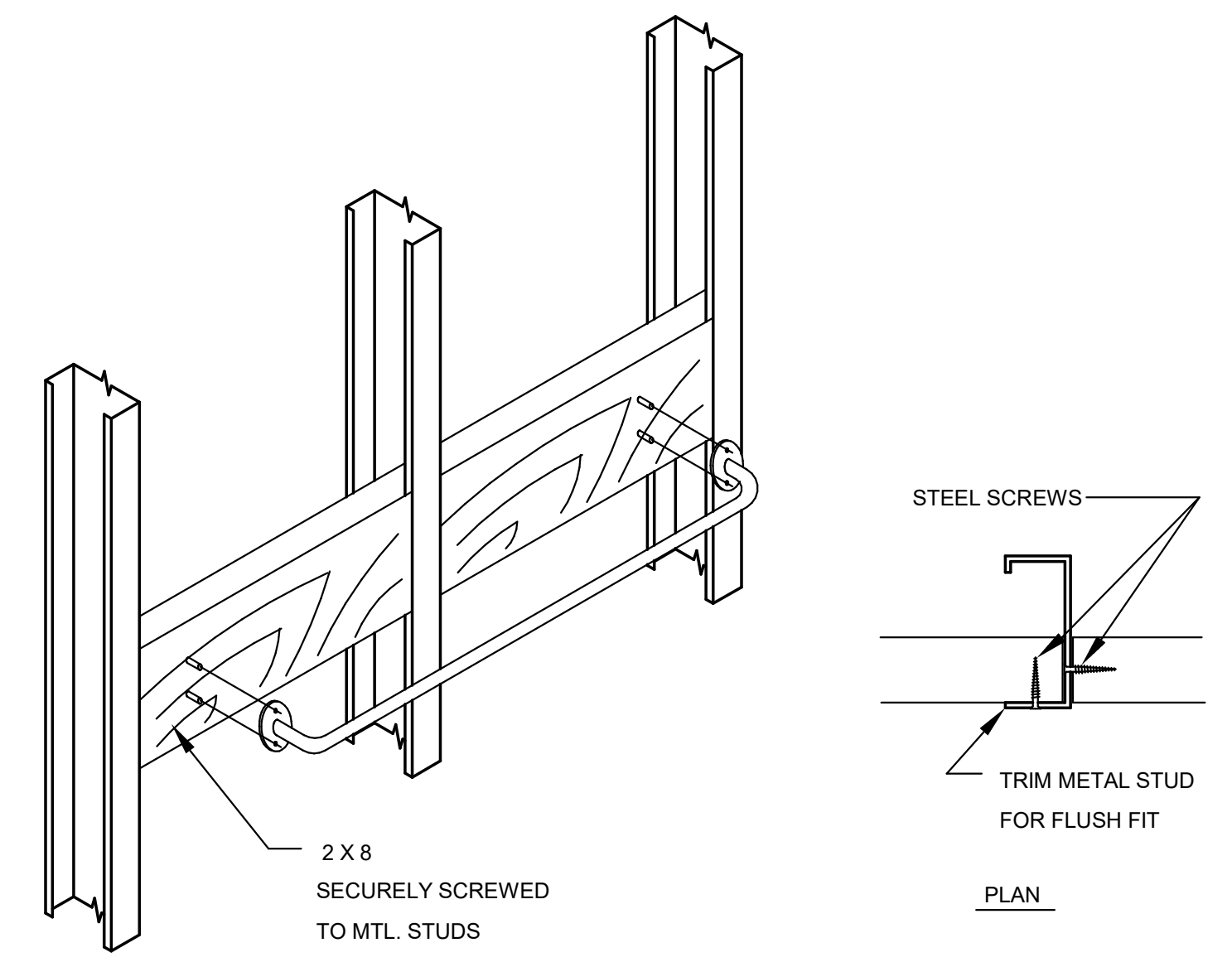
DETAIL #1
MOUNTING ELEVATIONS



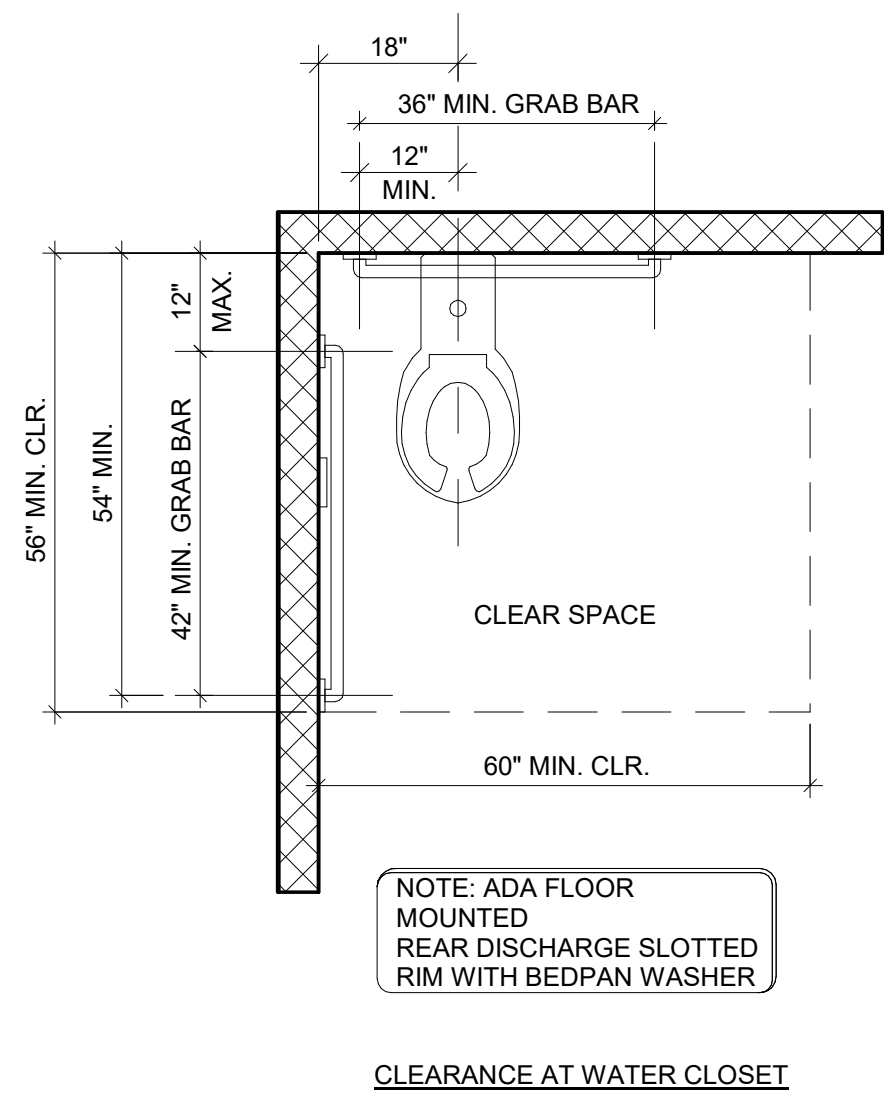
DETAIL #2
KNEE AND TOE CLEARANCE



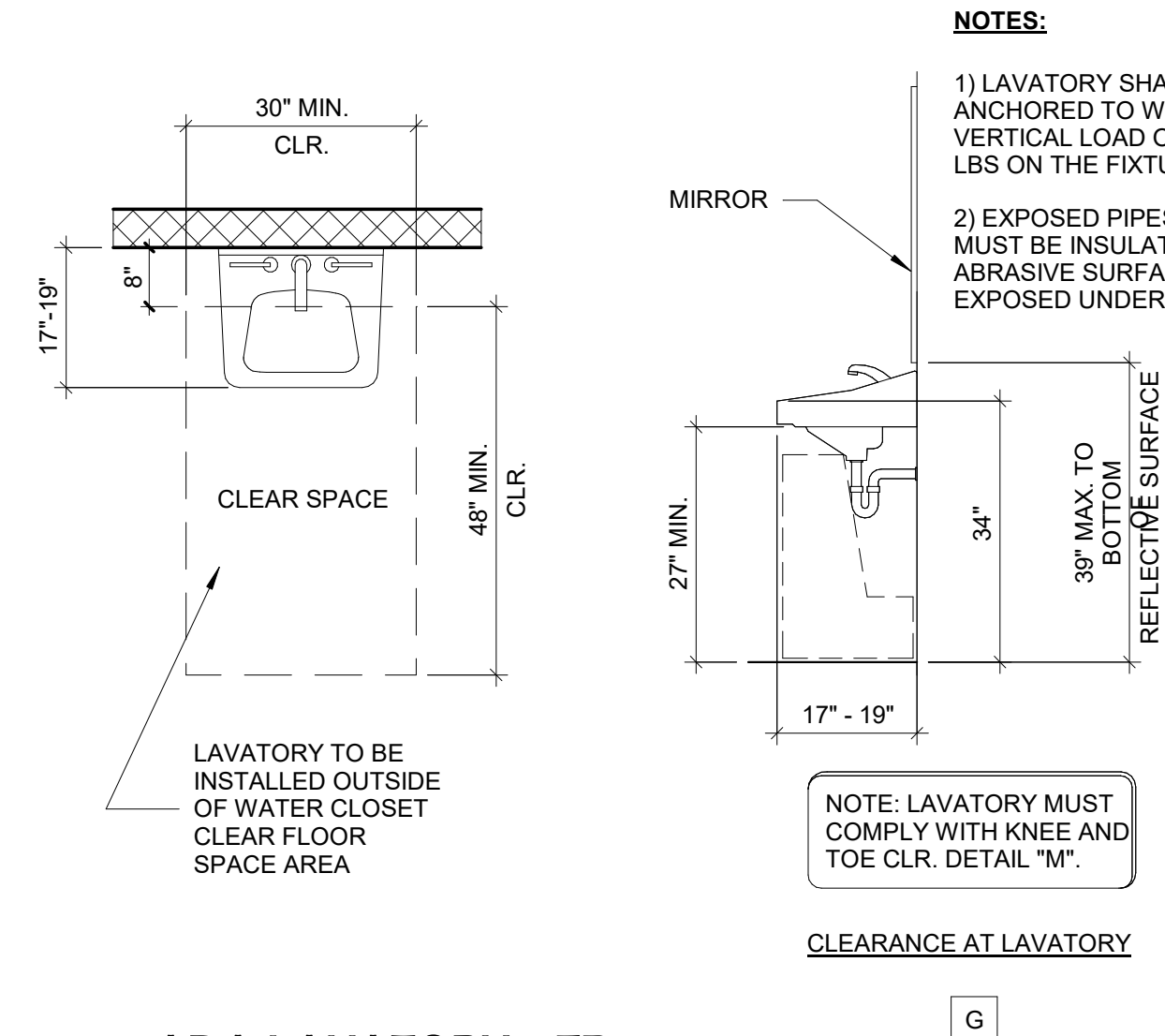
DETAIL #3
TYP. ADA COMPLIANT WATER CLOSET ELEVATION AND CLEARANCES REQUIRED



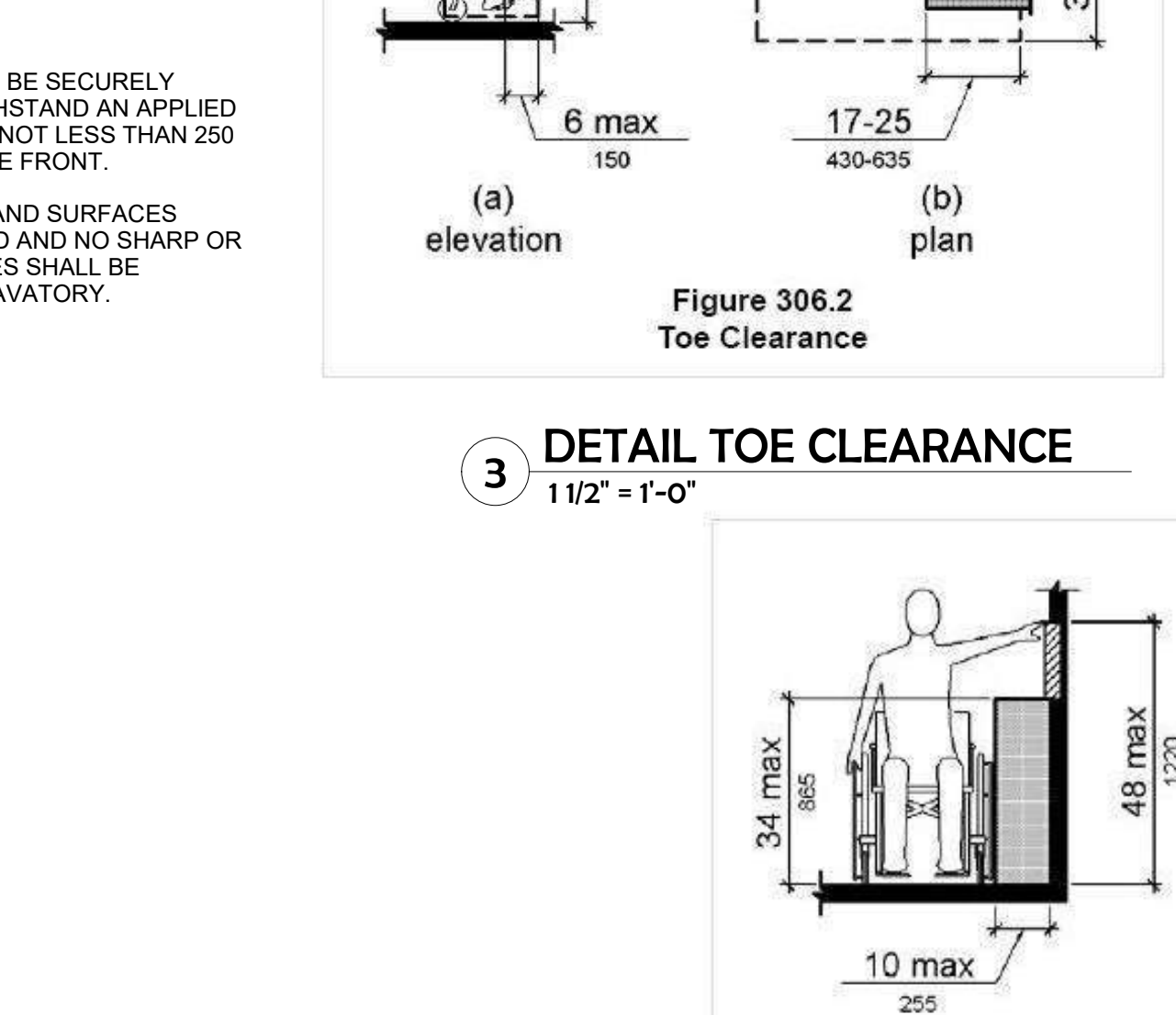
GRAB-BAR REINFORCING DETAIL 1
1/2" = 1'-0"



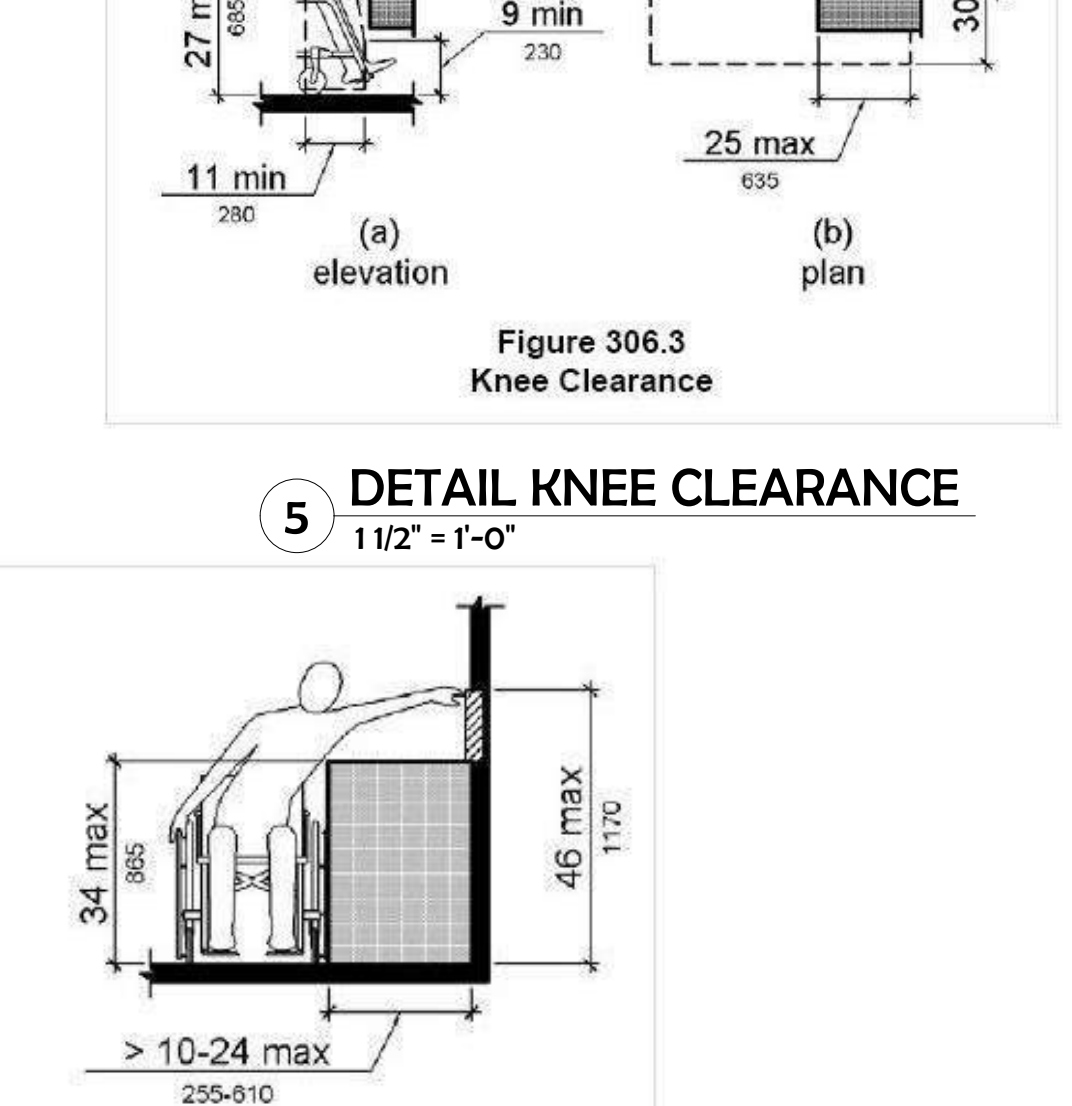
5 ADA WATER CLOSET
1/2" = 1'-0"



4 ADA LAVATORY - FP
1/2" = 1'-0"



3 DETAIL TOE CLEARANCE
1 1/2" = 1'-0"



5 DETAIL KNEE CLEARANCE
1 1/2" = 1'-0"



6 ADA LAVATORY - SECTION
1/2" = 1'-0"

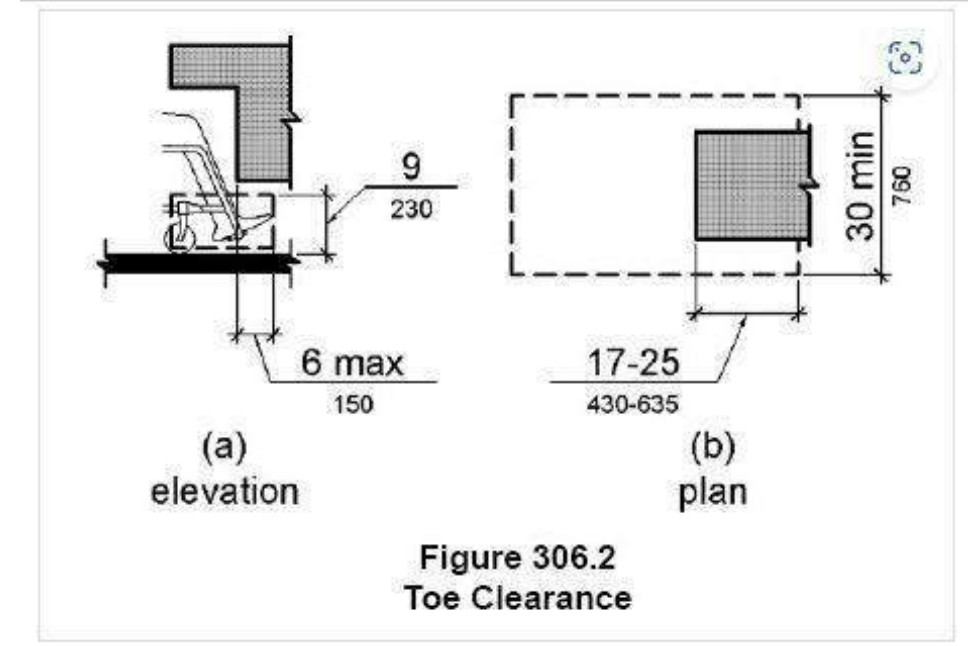


Figure 306.2
Toe Clearance

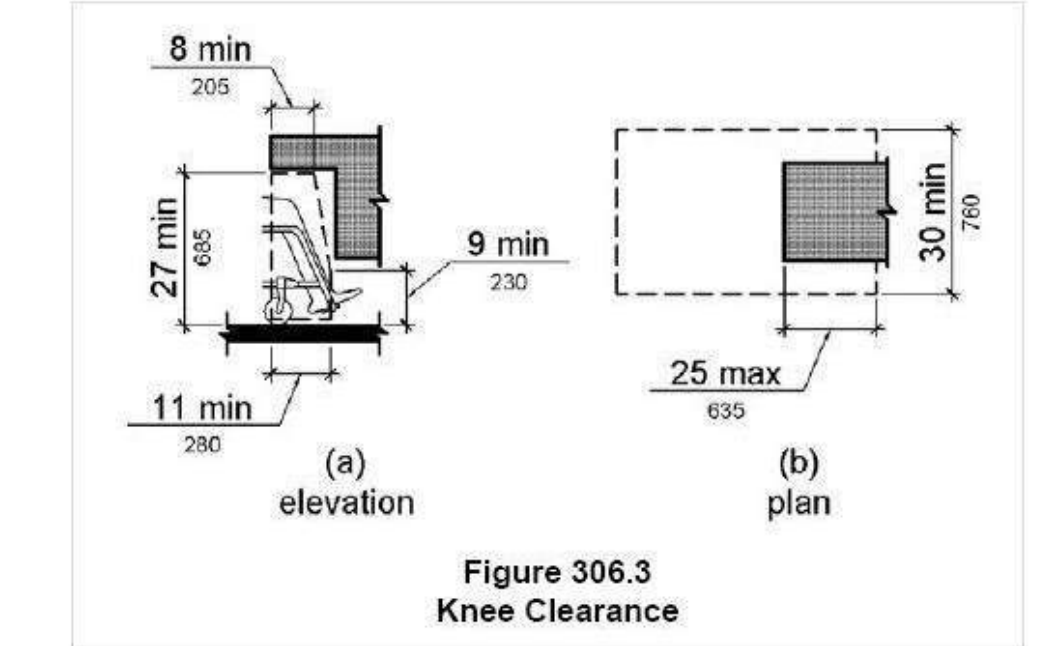
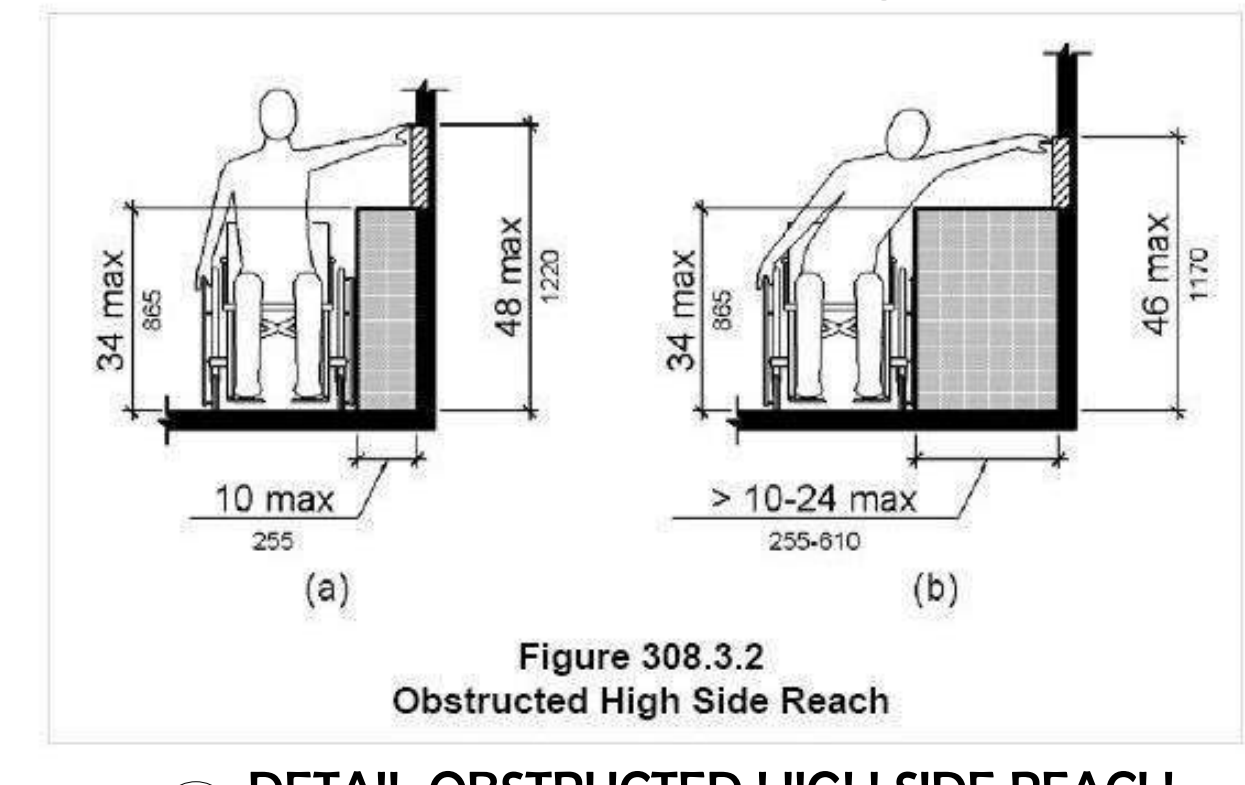
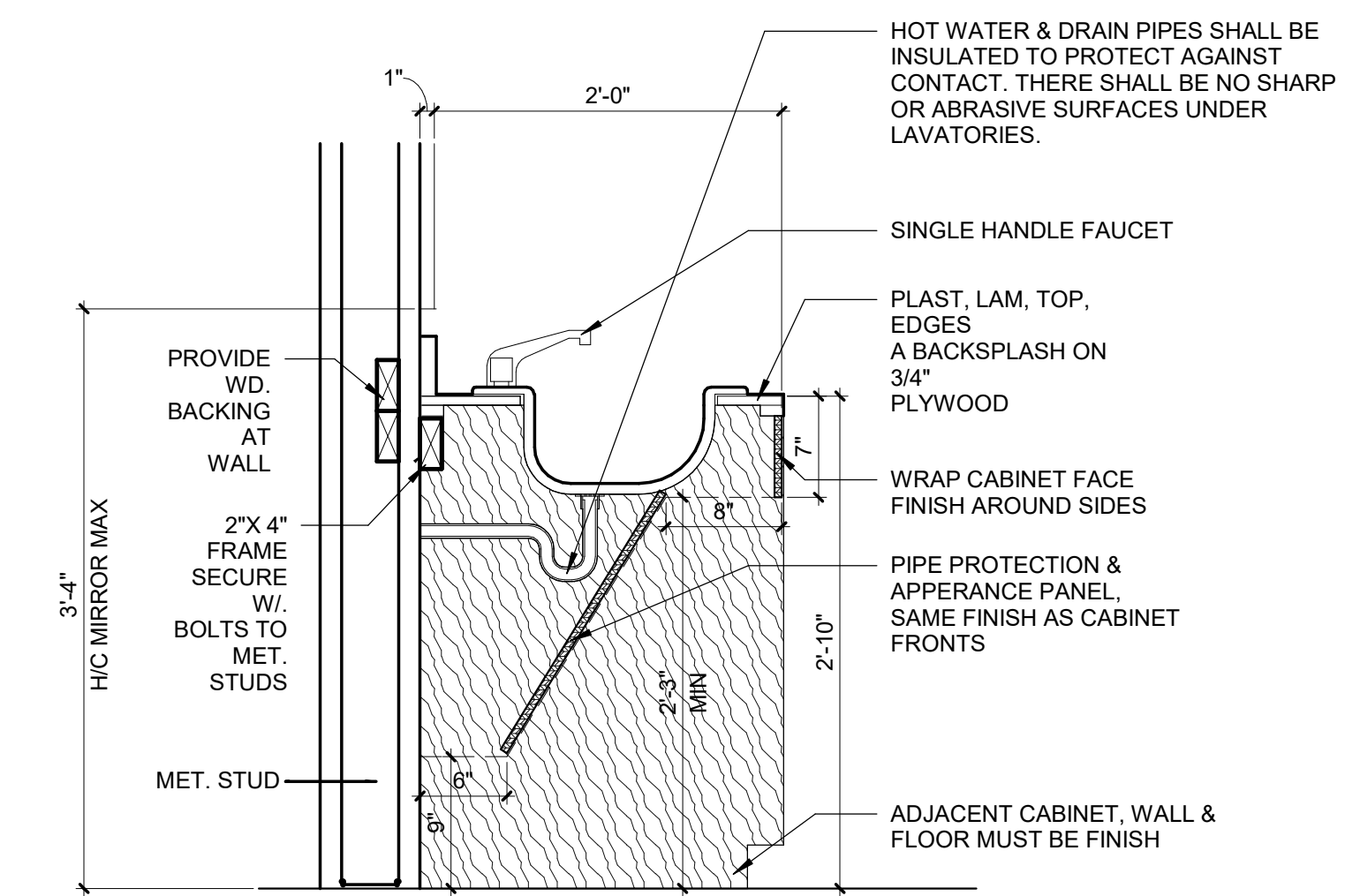
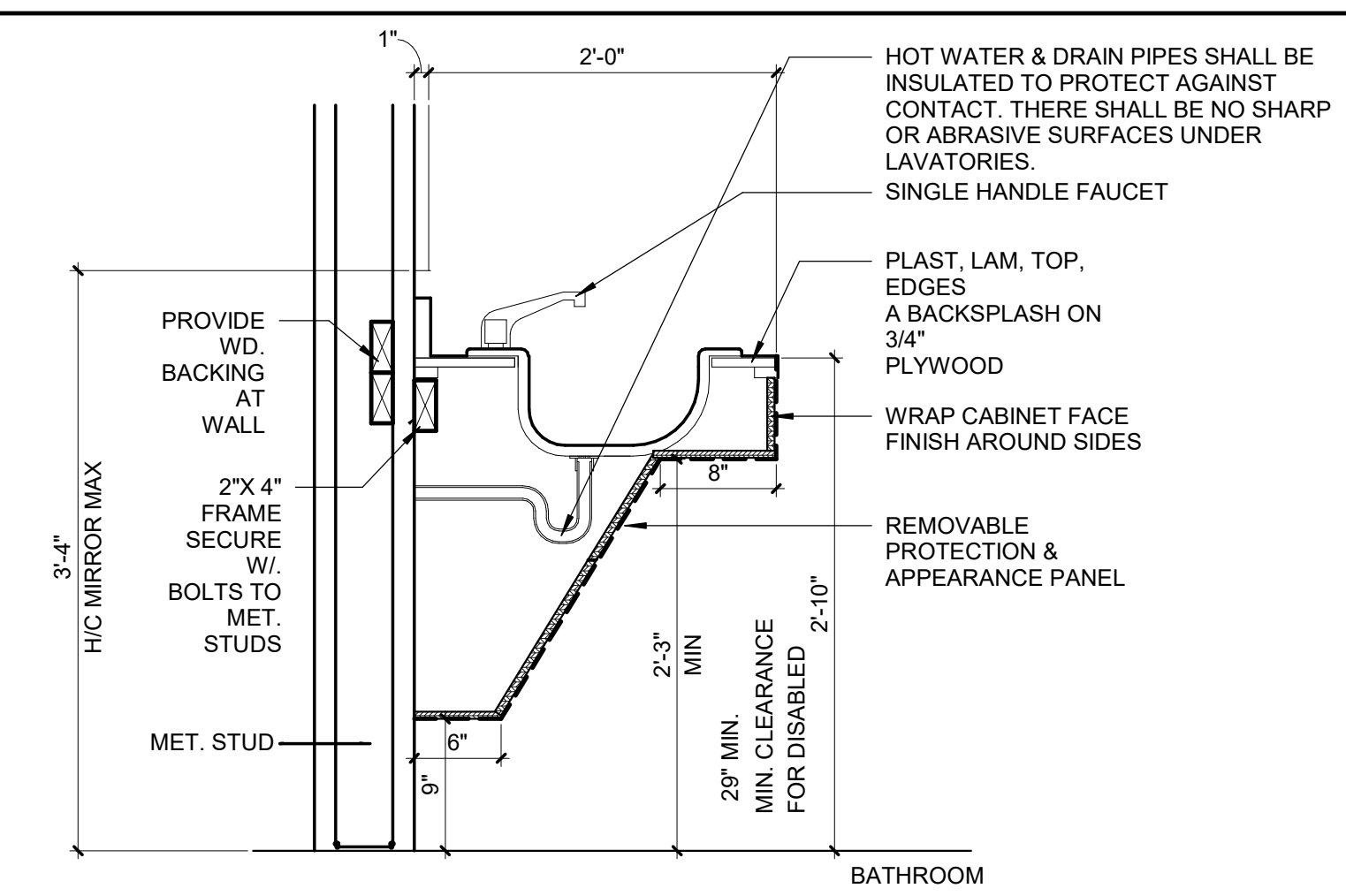


Figure 306.3
Knee Clearance



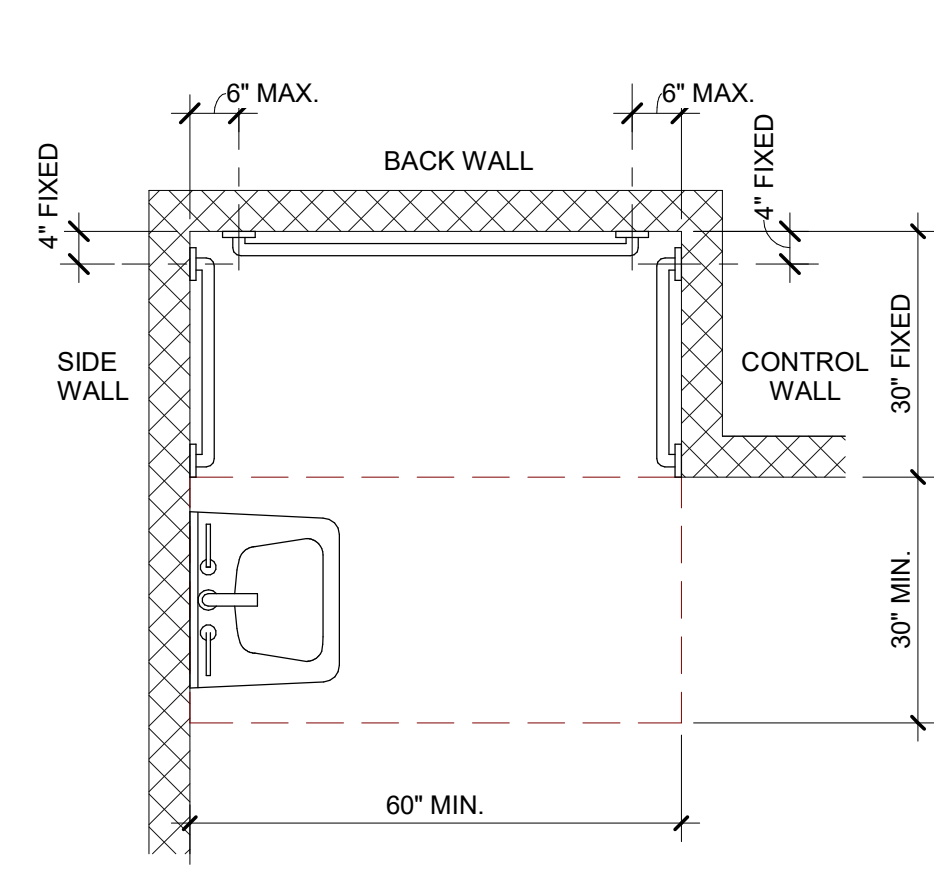
5 DETAIL OBSTRUCTED HIGH SIDE REACH
1 1/2" = 1'-0"



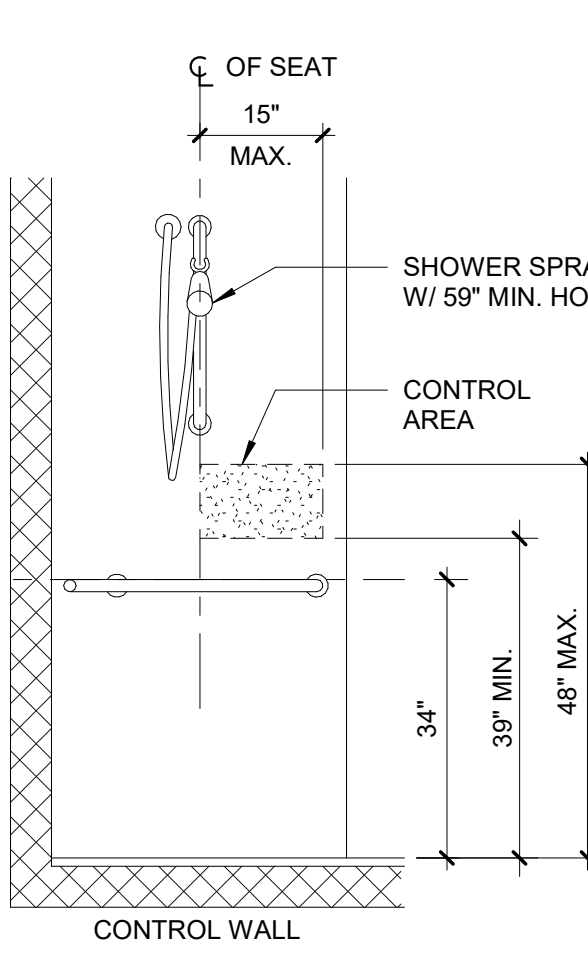
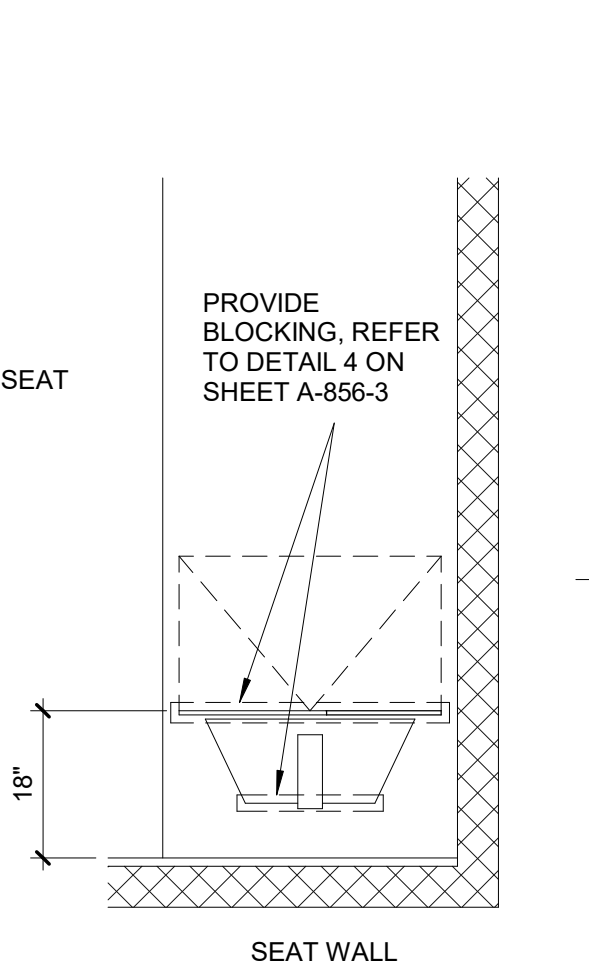
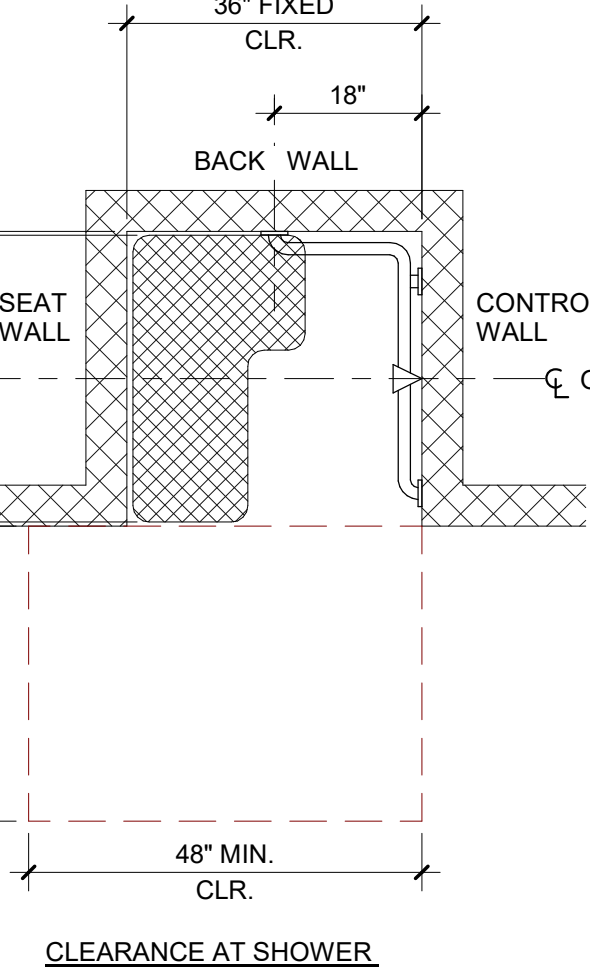
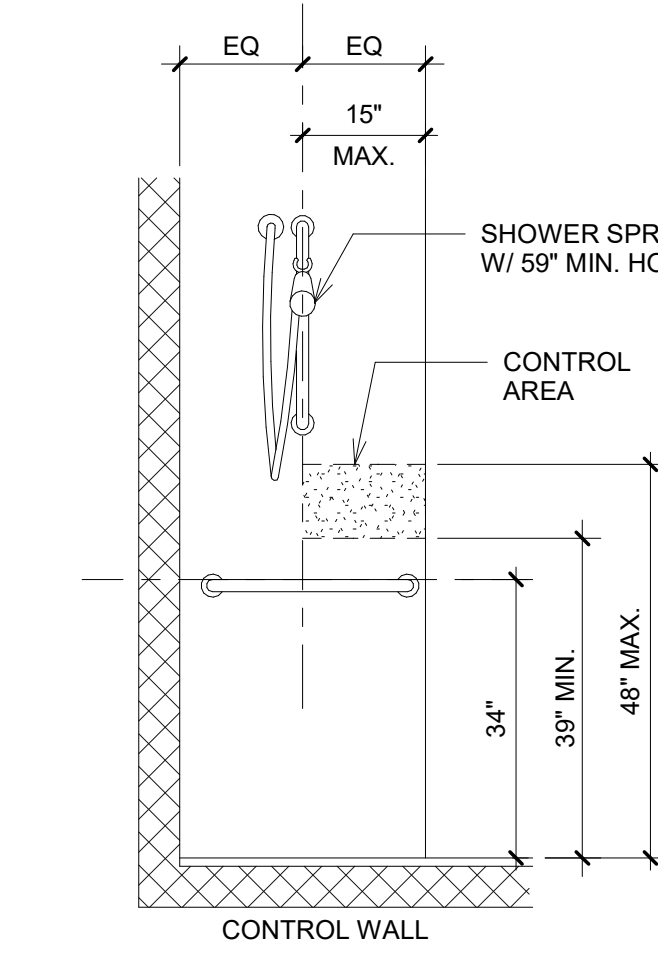
GUIDELINES FOR ACCESSIBILITY TO PHYSICALLY DISABLED PERSONS

- FOR THE CONVENIENCE OF THE PHYSICALLY DISABLED, WASHROOM ACCESSORIES SHOULD BE MOUNTED SO THAT OPERATING AREAS SUCH AS COIN SLOTS, PUSHBUTTONS, OPENING FOR TOWELS & WASTE ARE NO MORE THAN 40" ABOVE FIN. FLOOR.
- FOR THE SAFETY OF THE BLIND, OBJECTS BELOW 6'-6" WHICH PROTRUDE MORE THAN 4" MUST CONTINUE TO THE FLOOR SO THAT THEY MAY BE DETECTED BY A PERSON USING A CANE OR SEEING EYE DOG.
- LAVATORY AT EACH WASHROOM SHOULD PROVIDE:
 - A MINIMUM CLEARANCE OF 24" FROM FIN. FLOOR TO APRON.
 - A MAXIMUM HEIGHT OF 34" FROM FIN. FLOOR TO TOP OF VANITY.
 - INSULATED HOT WATER & DRAINPIPPES IF THE WATER EXCEEDS 120d. F.
 - A SOAP DISPENSER WHICH CAN BE OPERATED WITH ONE HAND.
 - SINGLE LEVER FAUCET CONTROL FOR HOT & COLD WATER.

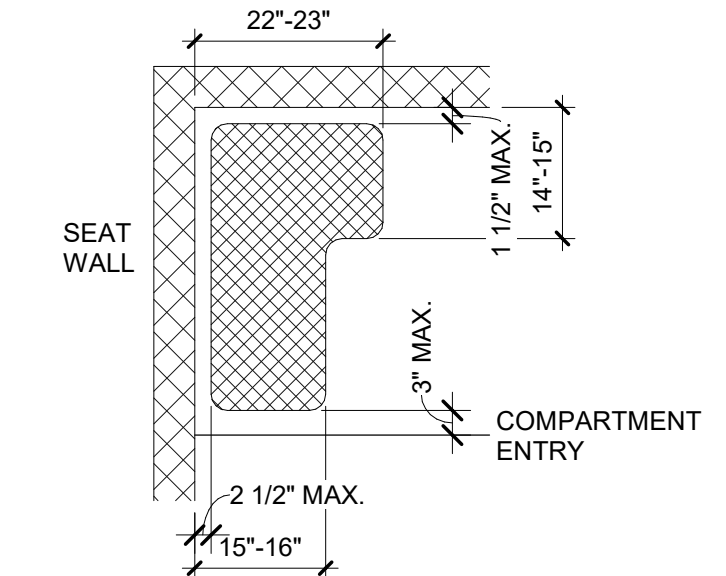
7 TYP. ADA DETAIL FOR BATHROOM
1" = 1'-0"



1 ADA BATHROOM SHOWER DETAILS
1/2" = 1'-0"



L-SHAPED SEATS. THE REAR EDGE OF AN L-SHAPED SEAT SHALL BE 2 1/2 INCHES (64 MM) MAXIMUM AND THE FRONT EDGE 15 INCHES (380 MM) MINIMUM AND 16 INCHES (405 MM) MAXIMUM FROM THE SEAT WALL. THE REAR EDGE OF THE "L" PORTION OF THE SEAT SHALL BE 1 1/2 INCHES (38 MM) MAXIMUM FROM THE WALL. THE END OF THE "L" SHALL BE 22 INCHES (560 MM) MINIMUM AND 23 INCHES (585 MM) FROM THE MAIN SEAT WALL.



STRUCTURAL STRENGTH. ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS (1112 N) IS APPLIED AT ANY POINT ON THE SEAT, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

SHOWER SEAT
PLAN VIEW

CITY OF MIRAMAR
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

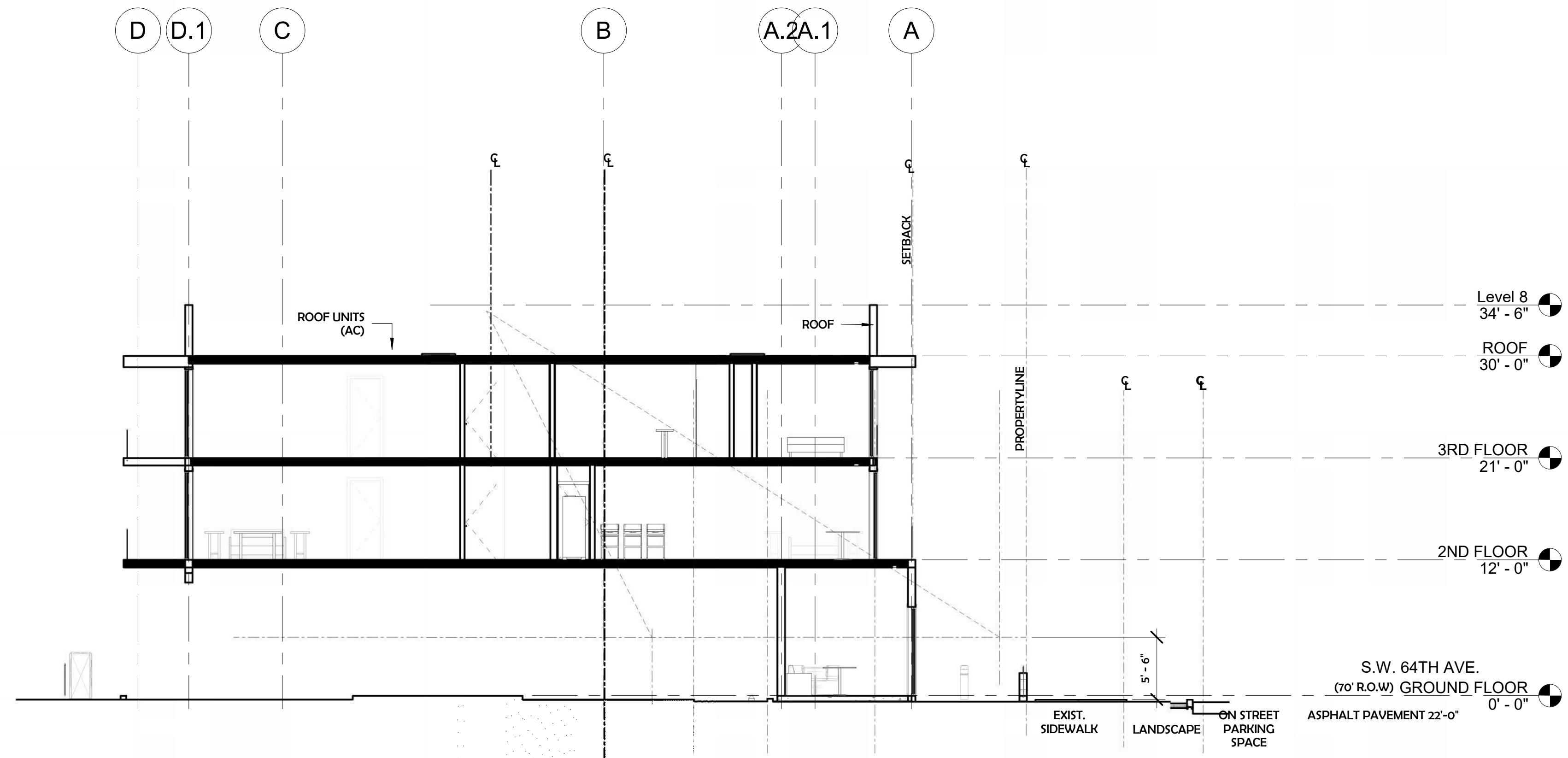
SKLARArchitecture
Commercial & Residential Architecture
P - 954 925 9292
www.sklararchitect.com

NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

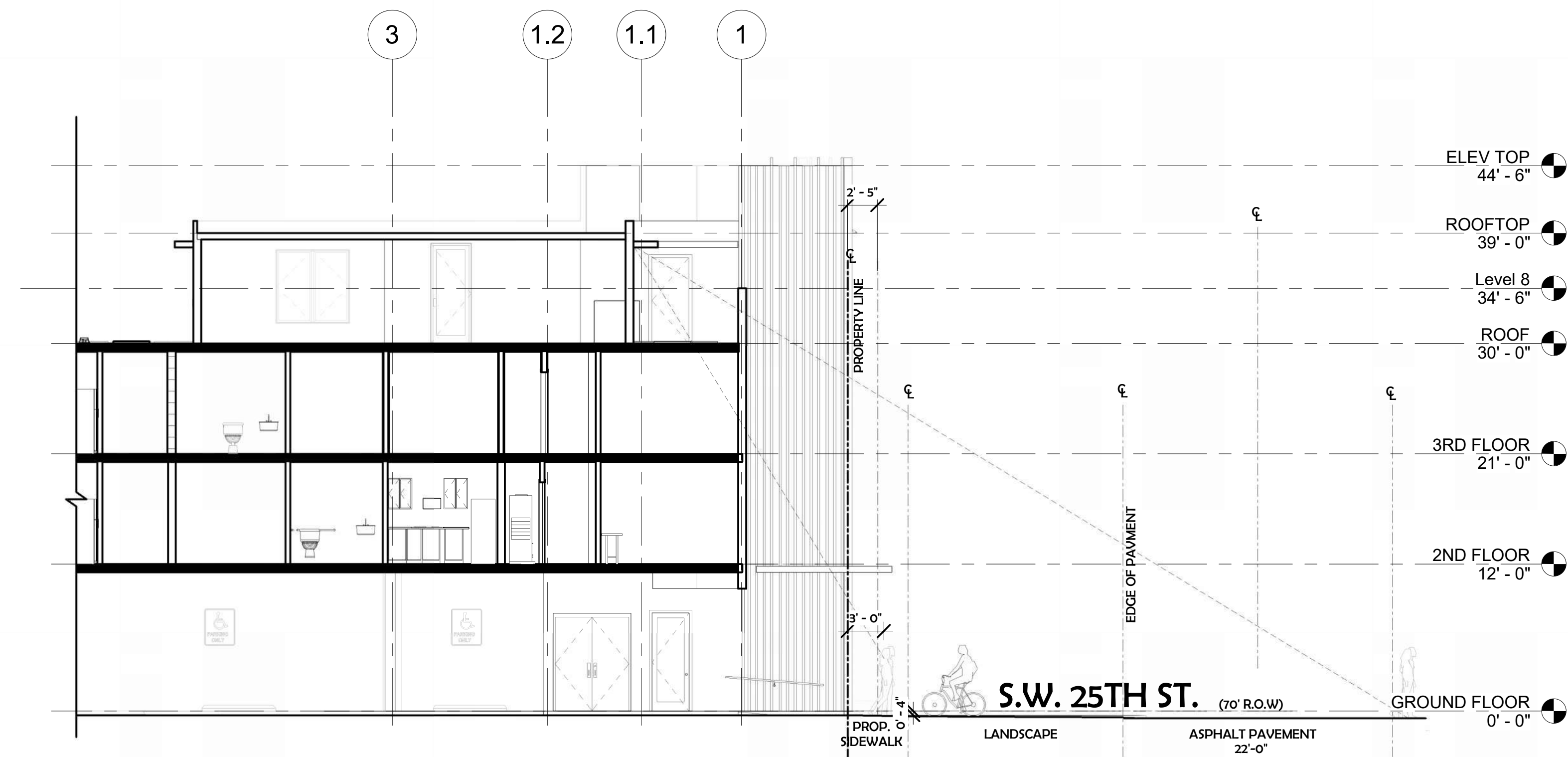
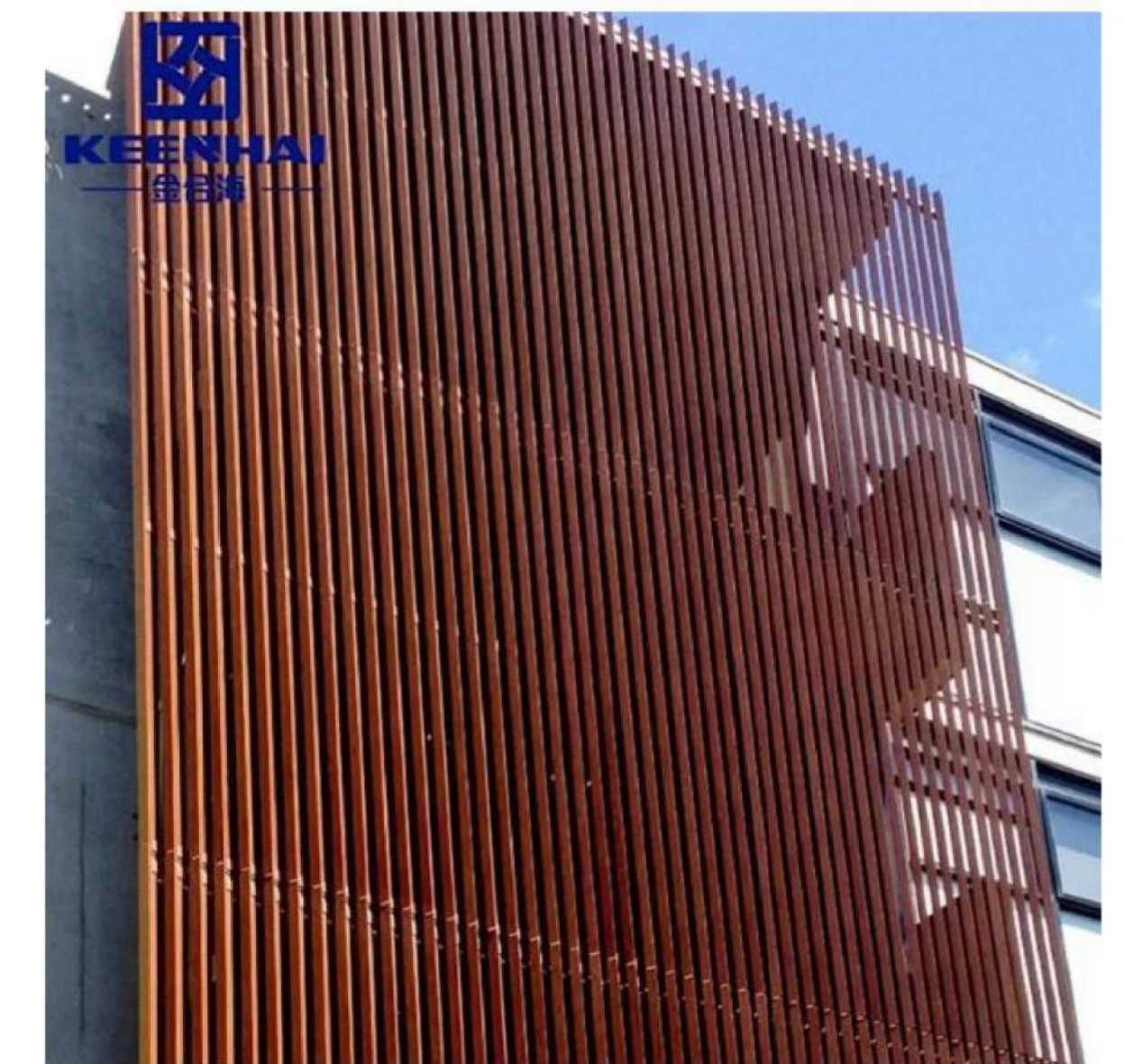
DETAILS ADA / MISC.

Project #22-016

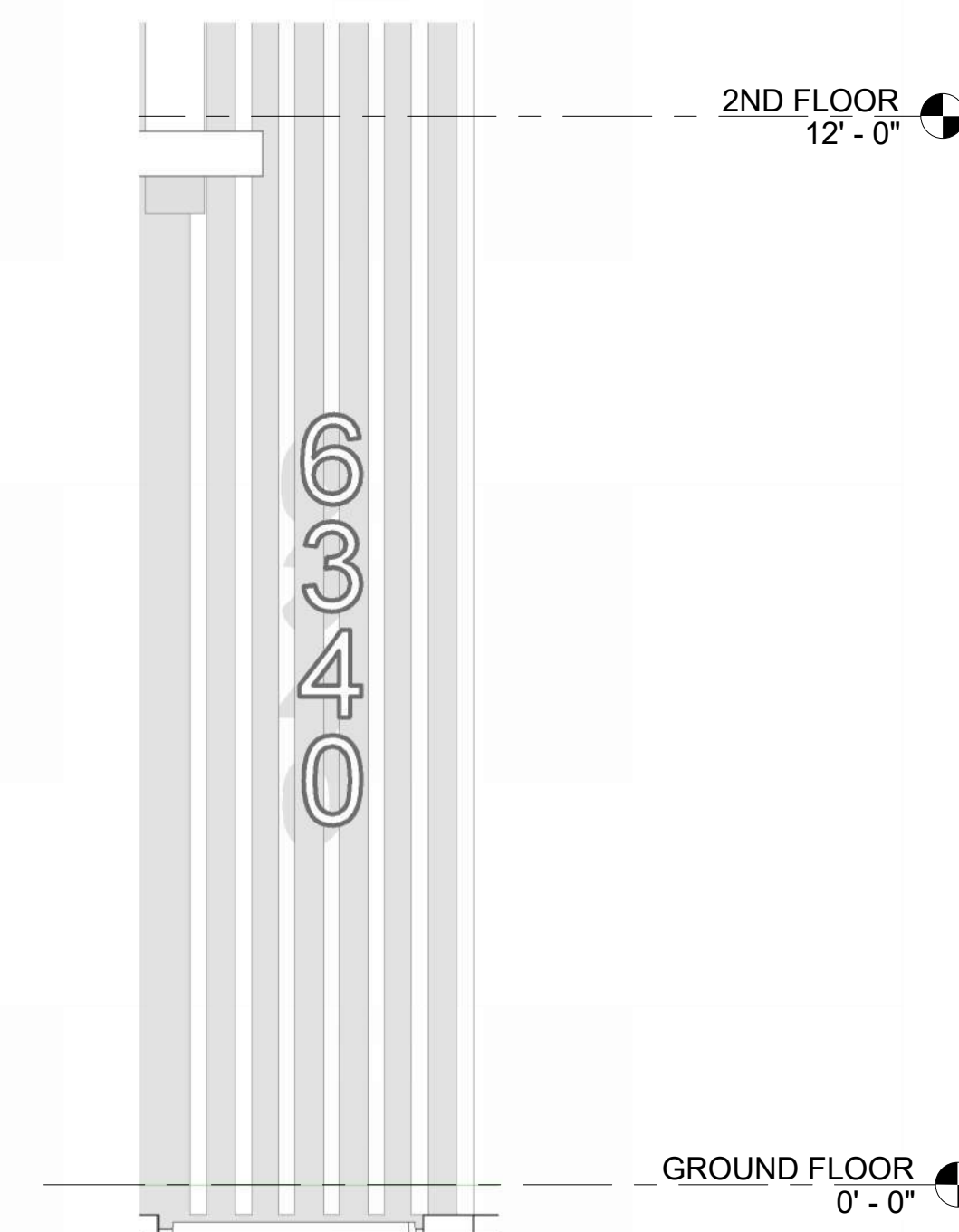
A1.3



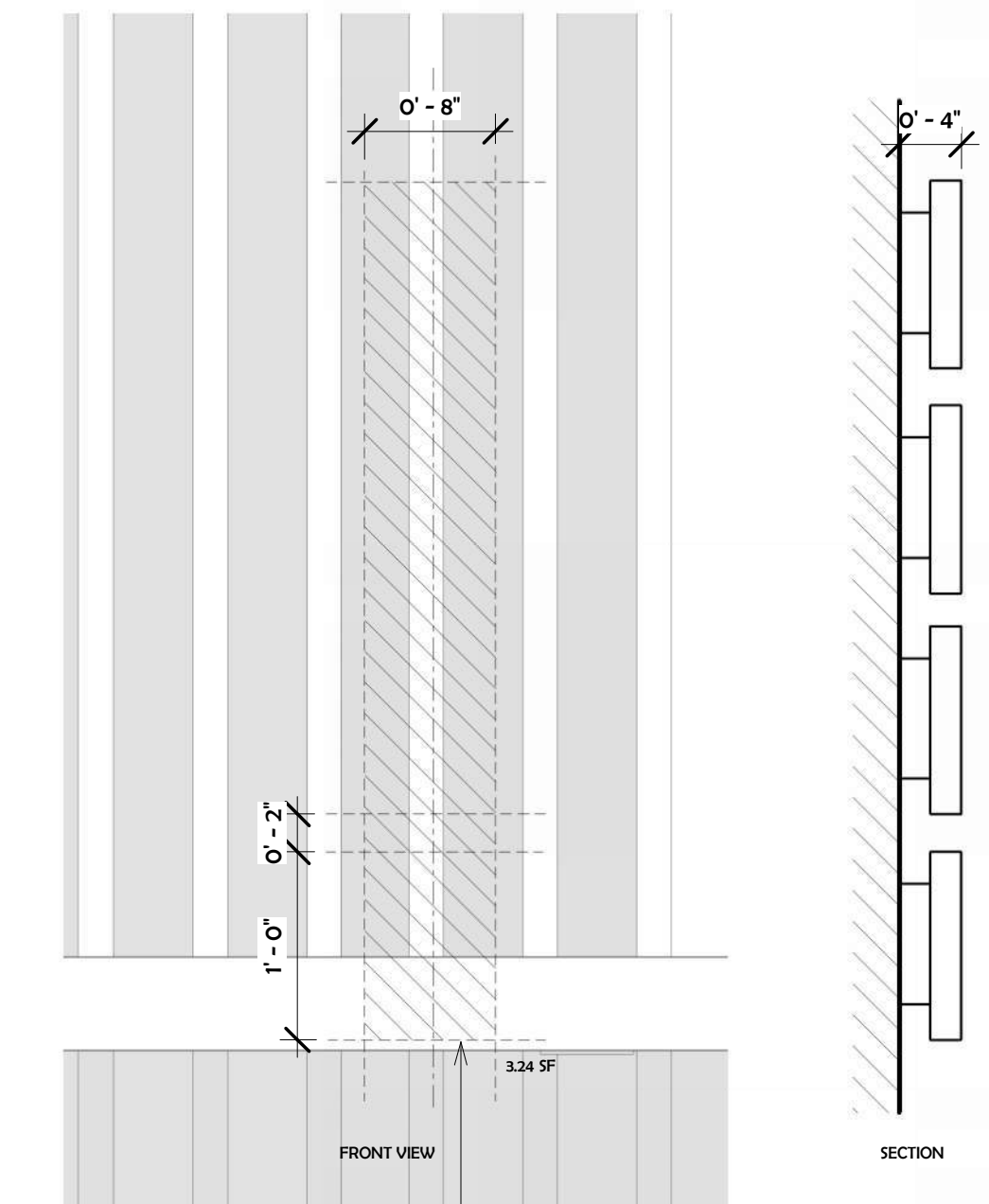
1 LINE OF SIGHT DIAGRAM -SW 26TH AVE
1/8" = 1'-0"



2 LINE OF SIGHT DIAGRAM -SW 25 ST
1/8" = 1'-0"



3 BUILDING ADDRESS SIGNAGE
1/2" = 1'-0"



4 ADDRESS SIGNAGE DETAIL
1" = 1'-0"

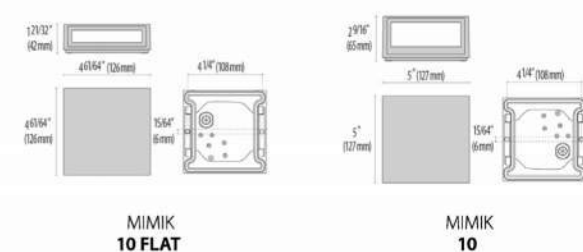


MIMIK 10



- Wall sconce series. Features consist of:
- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
 - Copper-free precision die-cast aluminum housing and mounting plate.
 - Extra-clear, flat, tempered silk-screened soda-lime glass diffuser.
 - Micro-prismatic patterned, flat, tempered silk-screened soda-lime glass diffuser (LATI version).
 - Custom molded, anti-aging gaskets.
 - Stainless steel external hardware.
 - Custom MCPCB utilized to maximize heat dissipation and promote a long LED life.
 - High-transmittance transparent optics.
- Single (M) or dual (B) light emission.
- ESNA Type II light distribution (LATI).
 - ESNA Type II light distribution.
 - 20° x 20° beam angle (C/I).
 - Input voltage: 120-277V (50/60 Hz), integral driver.
 - Customizing locale (specify available for MIMIK FLAT versions (ordered separately)).
 - Consult factory for dimming options, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options.
 - Product meets Buy American Act requirements within ARIA.
 - 5-year warranty.
 - Marine Grade Finish.
 - Suitable for Nantatorium applications.

- FINISHES**
- AN-96 / Iron gray / Textured
 - GS-94 / Aluminum metallic / Textured
 - WH-87 / White / Textured
 - BL-81 / Black / Textured
 - RB-10 / Iron rust / Textured



Scan here for installation instructions



WATTAGE	LUMEN OUTPUT	2700K	3000K	3500K	4000K
MIMIK 10 M T3 SW	MIMIK 10 M T3 SW	292	314	336	358
MIMIK 10 M T3 10W	MIMIK 10 M T3 10W	505	542	579	617
MIMIK 10 M C/I SW	MIMIK 10 M C/I SW	307	349	390	432
MIMIK 10 M C/I 10W	MIMIK 10 M C/I 10W	607	653	699	745
MIMIK 10 FLAT M SW	MIMIK 10 FLAT M SW	440	451	462	473
MIMIK 10 FLAT M 10W	MIMIK 10 FLAT M 10W	751	773	796	818
MIMIK 10 FLAT B SW	MIMIK 10 FLAT B SW	857	880	902	925
MIMIK 10 B C/I 10W	MIMIK 10 B C/I 10W	725	779	833	886
MIMIK 10 B C/I+T3 10W	MIMIK 10 B C/I+T3 10W	657	707	756	806

Revision 10/

80 CRI STANDARD - OTHER OPTIONS AVAILABLE
 Performance in Lighting reserves the right to make all necessary changes without prior notice.
 Performance in Lighting - 2621 Keys Pointe - Cypress, Georgia 30013 - USA - voice 770.822.2115 - info.usa@piliighting.com
 www.performanceinlighting.com

Revision 23 10/24

Submitted On: Oct 14, 2024

1/2

Index Page

MIMIK 10

Order Guide - Mimik 10

Order code example: M10F-B-AM-27K-120V-NA

Housing Style	Light Emission	Wattage	Optics	Finish	Kelvin	Voltage	Controls	Accessories
M10 Standard	M (One-Way)	SW 5 watts	Standard Housing only	ADVISE	ADVISE	UNV 120-277V	When selecting flat housing, or B two-way emissions, dimming options must be selected	SEE PICTURES BELOW
M10F Flat	B (Two-Way)	10W 10 watts (max)	Select one for M & two for B	AM Aluminum Metallic	27K 2700K		FC Facade cover	
		XX Specify wattage must be below max	Leave Blank for Flat Housing	IG Iron Gray	3K 3000K		SP8 8" Square Panel	
			T3 Type III	IR Iron Rust	35K 3500K		L24 24" Vertical Panel	
			T4 Type IV	BK Textured Black	4K 4000K		L33 33" Vertical Panel	
			C/I 20° beam	WH Textured White	4K 4000K		L48 48" Vertical Panel	
			10' Beam	CC Custom Color	RED Static Red		RP7 7" Round Panel	
			40' Beam	BLU Static Blue	CRN Static Green		Wedge Wood Panel	
			65' Beam	AMB Static Amber	RCBW (flat only)		D-Wedge Double Wedge Panel	
							SIGN Storage	
							RRR Remote driver	
							CON2 (double-gang) box, adaptor plate and 3/4" knockouts	
							CON4 (double-gang) box, adaptor plate and 3/4" knockouts	
							BABAA Build America Buy America Act compliant	

Submitted On: Oct 14, 2024

2/2

Index Page

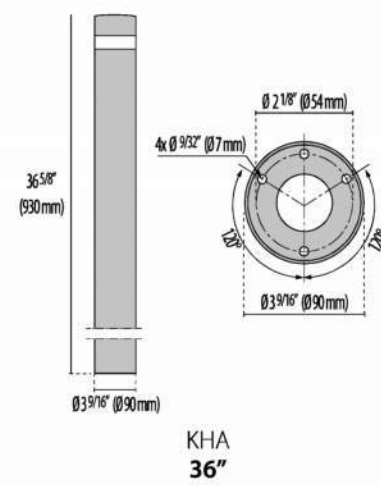
KHA SLIM 36"



- Slim bollard series. Features consist of:
- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
 - Copper-free aluminum extruded post.
 - Copper-free precision die-cast aluminum housing and top cap.
 - Corrosion-resistant AISI 316 stainless steel post and top cap.
 - Clear UV-stabilized, high-impact resistant diffuser.
 - Stainless steel external hardware.
 - Custom molded, anti-aging gaskets.
 - Internal specular reflector coated with 3-layers of PVD 99.98% pure aluminum providing >95% reflection.
 - High-efficiency CCT, combined with an optimized passive cooling system, provides a long LED life.
 - ESNA Type V light distribution.
- Input voltage: 120-277V (50/60 Hz), integral driver.
- The optional finishes available. Add finish suffix to any part number for textured Black (BK-81), iron gray (AN-96), Aluminum metallic (GS-94), White (WH-87), Iron rust (RB-10) when not standard.
 - Consult factory for dimming options, marine-grade, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options including static colors.
 - Consult factory for custom post height options.
 - Anchor bolts available for bollards (ordered separately).
 - Suitable for most coastal applications (stainless steel versions).
 - Product meets Buy American Act requirements within ARIA.
 - 5-year warranty.
 - Marine Grade Finish.
 - Suitable for Nantatorium applications.

Lumen Output	27K	3K	35K	4K	5K
Kha Slim 36"	450	482	514	546	592

14W Max Wattage



Scan Here for Installation Instructions



Revision 09 06/24

Submitted On: Oct 14, 2024

1/2

Index Page

Order Guide - Kha Slim 36"

Order code example: KHAS-36-14-55-3K-120-NA-HSS

Bollard Height	Wattage	Finish	Kelvin	Voltage	Controls	Accessories
26 inch (min)	8 watt	SS Stainless Steel	27K 2700K	UNV 120-277V	NA Non Dimming	HSS House Side Shield
36 inch	10 watt	AM Aluminum Metallic	3K 3000K		0-10V Dimming	UNL Unit Bollard
42 inch	14 watt (max)	IG Iron Gray	35K 3500K		ELV ELV Dimming	BABAA Build America Buy America Act compliant
XX Specify height must be over min	XX Specify wattage must be below max	IR Iron Rust	4K 4000K			
		BK Textured Black	5K 5000K			
		WH Textured White	65K 6500K			
		CC Custom Color	RED Static Red			
			BLU Static Blue			
			CRN Static Green			

80 CRI STANDARD - OTHER OPTIONS AVAILABLE

INCLUDED ACCESSORIES

KHA SLIM 36"
 Anchor nuts for in-ground concrete mounting stainless steel plate with galvanized steel web (KHA-SLM-Instr-03 cm/36.1" only) 14071320



Performance in Lighting reserves the right to make all necessary changes without prior notice.
 Performance in Lighting - 2621 Keys Pointe - Cypress, Georgia 30013 - USA - voice 770.822.2115 - info.usa@piliighting.com
 www.performanceinlighting.com

Revision 09 06/24

Submitted On: Oct 14, 2024

2/2

Index Page

PG Select

LED Selectable Parking Garage Gen 3



Images are shown for illustration purposes only.

The PG 03 Selectable LED Parking Garage Light is high-grade performance option for your security needs. A simple effective lighting solution that is guaranteed to be an A+ stocking solution offering 8 fixtures in 1 with 4 selectable power outputs and 2 selectable CCT options. Featuring a built-in plug-in receptacle, your lighting needs are covered conveniently with this LED parking garage light.

Series Number	Power Percentage	Wattage	LUMENS	LPF	LUMENS	LPF
PG LS100 G3	100%	80 W	8,160 Lum	130 Lum/W	8,160 Lum	105 Lum/W
	80%	64 W	6,528 Lum	102 Lum/W	6,528 Lum	81 Lum/W
	60%	48 W	4,896 Lum	102 Lum/W	4,896 Lum	102 Lum/W
	40%	32 W	3,264 Lum	102 Lum/W	3,264 Lum	105 Lum/W

ORDERING GUIDE

Fixture Type	Selectable Lumen Output	Generation	Voltage	Selectable CCT	Finish	Emergency Backup	Accessories
PG Select	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None
	4,896 - 8,160	G3	120V	5000K	BLANK	None	None

PGSelect03.24.02

Last updated: April 01, 2024, 3:03 PM

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13325 Cash Road, Suite #100, Houston, Texas 77077
 713-509-9800 | sales@slg.com | www.slg.com

CITY OF MIRAMAR
 APPROVAL
 DEVELOPMENT REVIEW COMMITTEE
 DATE: 06/25/2025

1/3

Index Page

PG Select

Performance Information

Series Number	Power Percentage	Wattage	LUMENS	LPF	LUMENS	LPF
PG LS100 G3	100%	80 W	8,160 Lum	130 Lum/W	8,160 Lum	105 Lum/W
	80%	64 W	6,528 Lum	102 Lum/W	6,528 Lum	81 Lum/W
	60%	48 W	4,896 Lum	102 Lum/W	4,896 Lum	102 Lum/W
	40%	32 W	3,264 Lum	102 Lum/W	3,264 Lum	105 Lum/W

Specifications

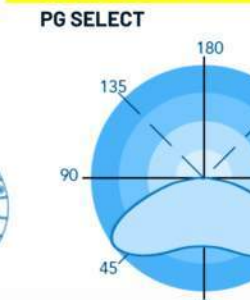
- Housing**
 Durable sealed die-casting profile for indoor and outdoor applications.
- Ambient Temperature**
 Suitable for use in -40°C to 45°C (-40°F to 113°F).
- Mounting**
 Surface mount with J-Box and pendant installation with conduit.
- Efficacy**
 Up to 140 lumens per watt.
- CCT and CRI**
 Field selectable: 4000K and 5000K.
 CRI: 70.
- Lumen Output**
 Field selectable: 4,320 - 10,400 Lm.
- Warranty**
 10-year limited warranty. Comprehensive warranty terms can be located on www.slg.com.
 5-year limited warranty for Emergency Driver models.
- Electrical Standard**
 120V - 277V
 0-10V dimming standard with a dimming range of 100% to 10%.
- Certifications**
 UL Listed for wet locations. FCC compliant. Design Lights Consortium™ (DLC) Premium 5.1 listed pending.
- Emergency Backup**
 8W 1,000 Lm - 90 min.

Dimensions



Net weight: 6.24 lbs

Photometric



Emergency Backup Specs
 INPUT
 100 - 347 V AC
 OUTPUT
 30-63 V DC
 OUTPUT POWER
 8 W

Submitted On: Oct 14, 2024

2/3

Index Page

PG Select

Mounting



Accessories

- Specifications:**
- Input Voltage: DC 12V
 - Detection Angle: 120°
 - Dimming: 0-10V
 - Input Current: <30mA
 - IP Rating: IP65
 - Operating Temperature: -20°C to 60°C (-4°F to 140°F)
 - Voltage Range: 10 - 15VDC
 - Detection Range: 2-9 ft
 - Warranty: 5 year warranty
 - Output Power: 0.1W
 - Mounting Height: Up to 40ft

Electrical Load

Power Setting	Wattage	120V	200V	240V	277V
Low	22 W	0.27	0.15	0.13	0.12
Med	48 W	0.4	0.23	0.2	0.17
High	64 W	0.53	0.31	0.27	0.23
Max	80 W	0.67	0.39	0.33	0.29

Shipping Information

Part Number	Dimensions (L x W x H)	Weight (lbs)	Volume (cu ft)	Volume (cu m)	Volume (cu yd)	Volume (cu in)
PG LS100 G3 FSK	10" x 11" x 3.7"	1	0.41	0.011	0.0004	0.000001
PG LS100 G3 FSK-AL	10" x 11" x 3.7"	1	0.41	0.011	0.0004	0.000001

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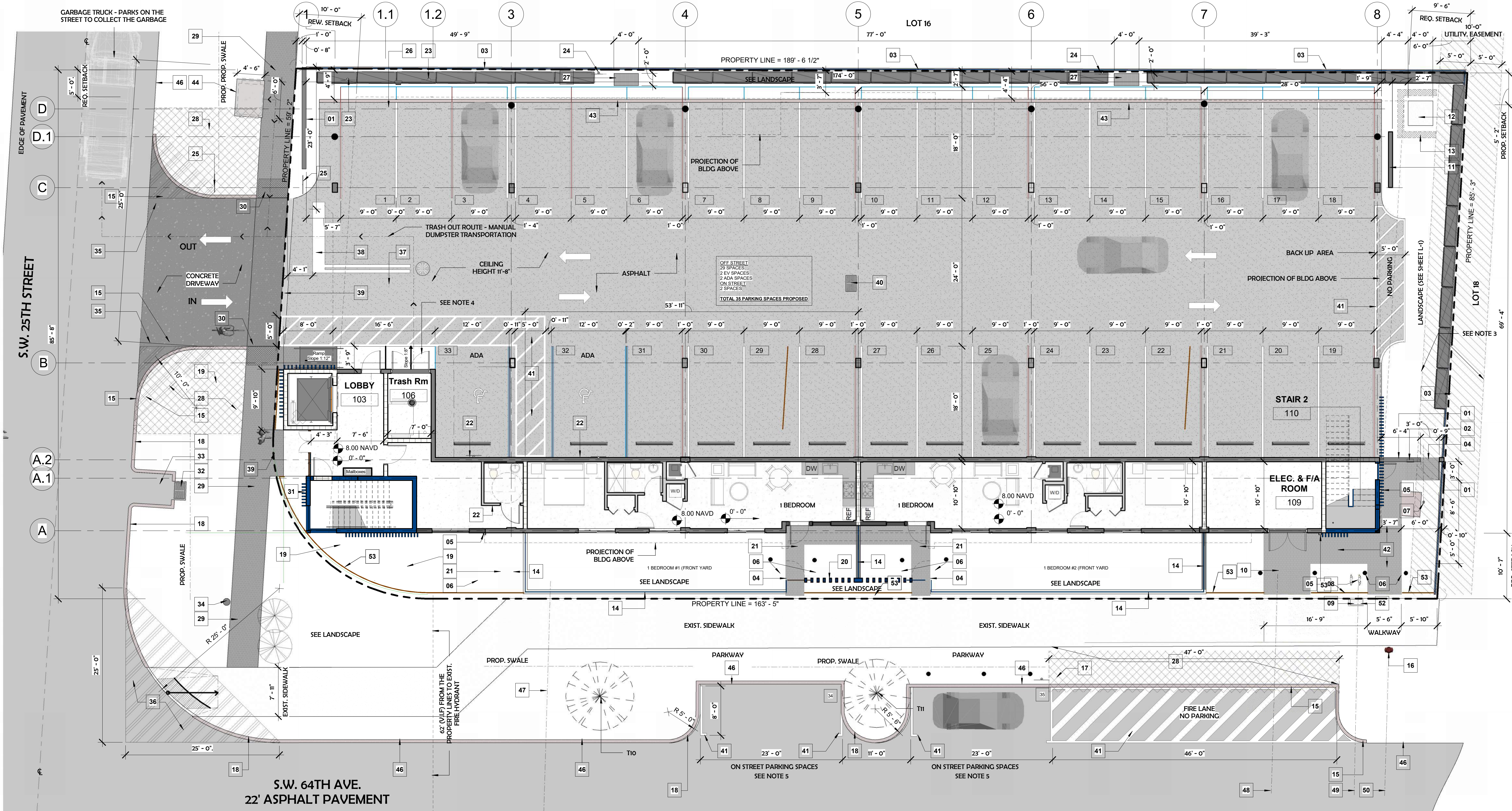
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3/3

Index Page



#	NOTE TEXT
01	4" PRIVACY CMU WALL
02	SIGN FIRE DEPT. KNOX BOX
03	6" ALUM. FENCE ON A CURB
04	44" ALUM PEDESTRIAN GATE
05	WALL SCONCE LIGHT
06	LIGHT BOLLARDS
07	PROP. NEW FDC
08	PROP. RPZ
09	PROP. DOMESTIC WATER METER (FOR APT)
10	PROP. 6" DDCLV
11	ELEC. MTRS WALL
12	PAV. PTL TRANSFORMER
13	LANDSCAPE SCREENING
14	4" ALUM RAIL FENCE
15	MOUNTABLE CONC. CURB FOR FIRE DEPT.
16	PROP. FIRE HYDRANT
17	SIGN NO PARKING FIRE LANE
18	TYPE 'D' CONC. CURB
19	WALL PACK LIGHT
20	8' HEIGHT CMU WALL
21	PROP. 3" WALKWAY
22	PROP. ADA SIGN WALL MOUNTED
23	EV PARKING SING.
24	PROP. LADDER AREA SIGN
25	PROP. STOP SIGN (RI-1)
26	PROP. ELECTRIC VEHICLE CHARGING STATION. AC TYPE - LEVEL 2.
27	CONC. SLAB FOR PORTABLE FIRE LADDER SETUP
28	TURFSTONE PAVER
29	PROP. 5" SIDEWALK. SEE CIVIL
30	TACTILE WARNING SURFACE
31	BUILDING ADDRESS SIGNAGE
32	EXIST. CATCH BASIN
33	PROP. CONC. FLUME
34	EXIST. ELEC. POLE
35	VISIBILITY TRIANGLE 12'-0" X 12'-0"
36	VISIBILITY TRIANGLE 25'-0" X 25'-0"
37	PROP. DRAIN BASIN
38	24" SOLID WHITE STOP BAR
39	TRENCH DRAIN
40	PROP. CATCH BASIN
41	STRIPING PAVEMENT MARKING
42	PAVER WALKWAY
43	6" CURB (TYP.)
44	PROP. STAGING AREA FOR DUMPSTER ROLL OUT ON SERVICE DAYS
45	EXIST. SEWER MANHOLE
46	STREET EDGE
47	PROP. 6" PVC SAN. SERV.
48	PROP. 6" DIP FIRE LINE
49	PROP. 2" WATER SERVICE
50	PROP. 6" CLASS 52 D.I.P
51	DRIVEWAY VISIBILITY TRIANGLE 10' x 6'
52	PROP. DOMESTIC WATER METER (FOR APT)
52	PROP. IRRIGATION WATER METER
53	PROPOSED BERM

1 SITE PLAN B&W
1/8" = 1'-0"

ZONING DATA

GENERAL	REQUIRED	PROPOSED
ZONING:	TRANSIT ORIENTED CORRIDOR RESIDENTIAL MULTI-FAMILY, TOC-RM	
LAND USE:	MEDIUM DENSITY RESIDENTIAL	
BASE FLOOD ELEVATION (B.F.E.):	FLOOD ZONE: AH N.A.V.D. = 8'	
WATER / WASTEWATER SERVICE PROVIDER:	CITY OF MIRAMAR	
REQ'D/ALLOWED	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	3,600 SF	16,078 SF / 0.3691 ACRES
MINIMUM LOT WIDTH:	50 SF	85 SF
MAX. LOT COVERAGE	80% = 12,862.40 SF	72.68% = 11,686 SF
BUILDING FRONTAGE	50% MINIMUM	90.58% = 77' - 2"

REQ'D/ALLOWED	REQUIRED	PROPOSED
BUILD-TO-LINE (FEET):	FRONT (NORTH): 0-10' SIDE INTERIOR (EAST): 5' SIDE STREET & CORNER (WEST): 10' REAR (SOUTH): 10'	FRONT (NORTH): 0' SIDE (EAST): 5'-7" * SIDE (WEST): 1'-10" TO 10'-0" REAR (SOUTH): 10'-0' / 13'-5'
MINIMUM SETBACKS (FEET):		
BUILDING HEIGHT:	3 STORIES	3 STORIES (ROOF TOP 30'-0")
TOTAL (GROSS) DENSITY:		18 UNITS / 0.3691 ACRES = 48.76 UNITS PER ACRE
HARDSCAPE		
PROPOSED BUILDINGS	N/A	2,399 SF = 14.92 %
VEHICULAR USE AREA	N/A	9,975 SF = 62.04 %
SIDEWALKS/WALKWAYS	N/A	442 SF = 2.75 %
TOTAL HARDSCAPE AREA		12,816 SF = 79.71 %

GREEN SPACE	REQUIRED	PROPOSED
GREEN SPACE	N/A	3,262 SF = 20.29%
OPEN SPACE	REQUIRED	PROPOSED
OPEN SPACE	5% = 708.30 SF	4,392 SF = 27.32 %
RESIDENTIAL UNITS		
2 UNITS - 1 BEDROOM	MIN 500 SF	625 SF
12 UNITS - 2 BEDROOM	MIN 900 SF	1050 SF
4 UNITS - 3 BEDROOM	MIN 1,000 SF	1,386 SF
TOTAL		18 UNITS

PARKING	REQUIRED	PROPOSED
2 UNITS - 1 BEDROOM (TYPE 'A')	1.5 / unit = 3 PARKING SPACES	
12 UNITS - 2 BEDROOM (TYPE 'B')	2.0 / unit = 24 PARKING SPACES	35 PARKING SPACES PROPOSED
4 UNITS - 3 BEDROOM (TYPE 'C')	2.5 / unit = 10 PARKING SPACES	
GUEST	10% = 3.7 PARKING SPACES	
SUBTOTAL	41 PARKING SPACES	
REDUCTION	35% REDUCTION = 14.35 PARKING SPACES	
TOTALS	26 PARKING SPACES REQUIRED	
VARIANCES		

SITE PLAN NOTES:
 1. ELECTRIC VEHICLE CHARGING STATION SHALL HAVE A MINIMUM CHARGING LEVEL OF AC LEVEL 2.
 2. DECORATIVE SIGNPOSTS ARE REQUIRED ALONG WITH A DETAIL.
 3. ALL TREES SHALL BE PLACED A MINIMUM OF FIVE FEET FROM AN UNDERGROUND UTILITY LINES.
 4. THE ACCESS TO THE TRASH ROOM WILL BE FULLY ENCLOSED WITH METAL GATES PER SECTION 803.3.2 (g).
 5. ON STREET PARKING WILL BE MAINTAINED BY OWNER.

SITE PLAN LEGEND	
[Pattern]	NEW ASPHALT. COORDINATE WITH CIVIL
[Pattern]	NEW CONCRETE SLAB ON GRADE. SEE CIVIL
[Pattern]	NEW PAV. WALKWAY ON GRADE. SEE CIVIL
[Pattern]	NEW CONCRETE SLAB FOR DRIVEWAY. SEE ENGINEER.
[Pattern]	NEW LANDSCAPE. SEE L-1
[Pattern]	EXIST. UTILITY EASEMENT
[Pattern]	TURF STONE PAVERS
[Pattern]	TACTILE WARNING SURFACE
[Symbol]	M.H. MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	UTILITIES LINES.

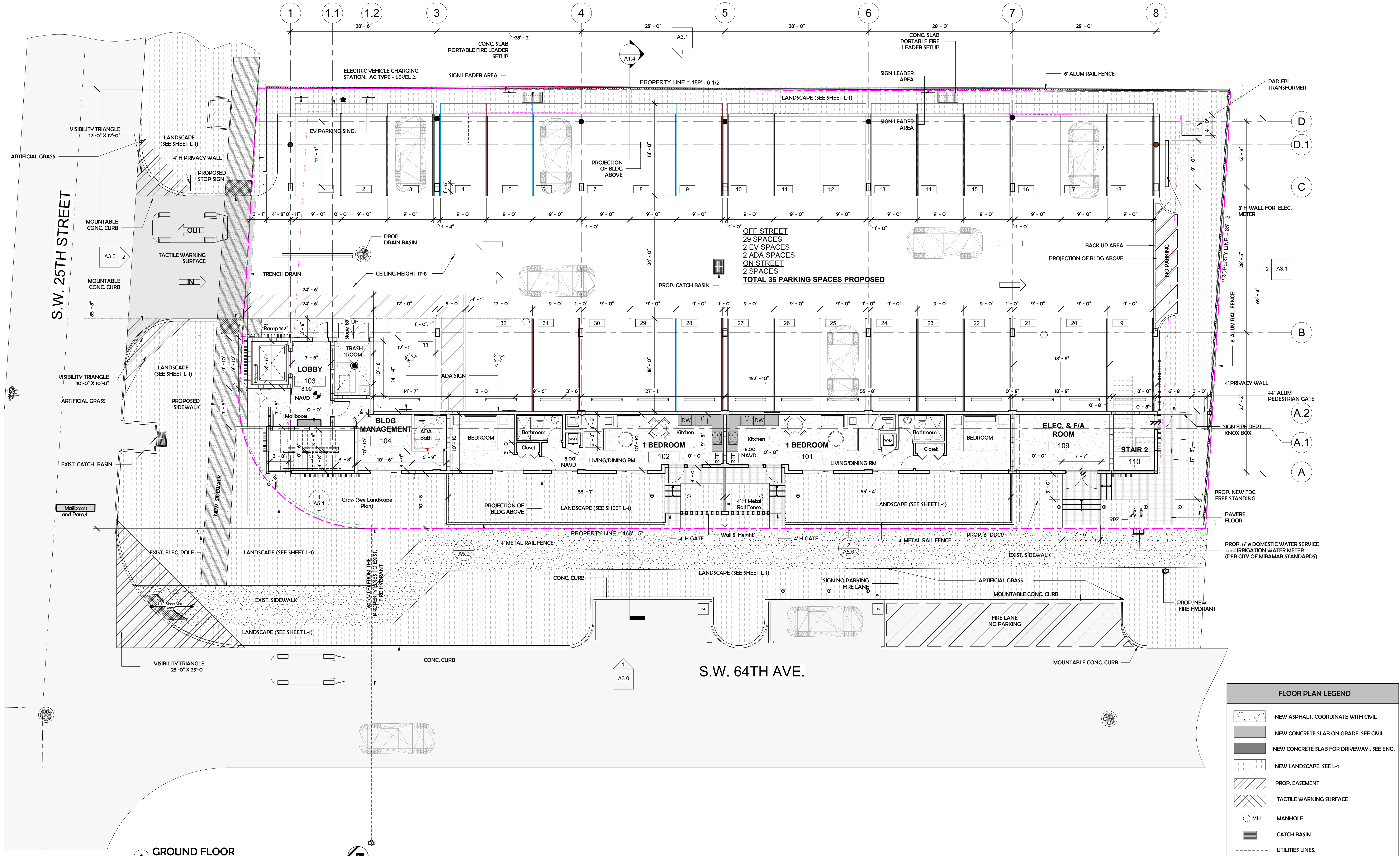


NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
 6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

SITE PLAN B&W

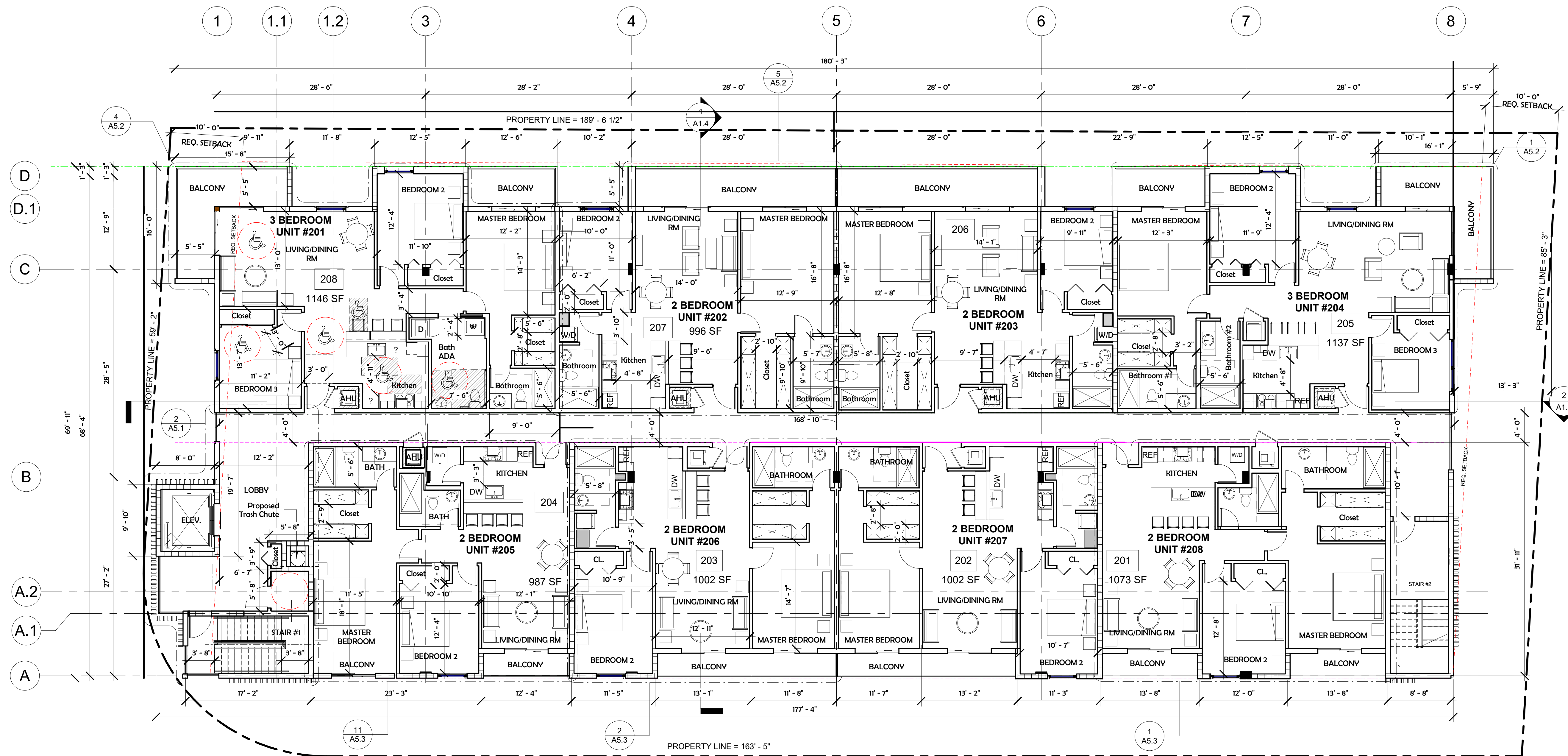
Project #22-016

A1.1



1 GROUND FLOOR
1/8" = 1'-0"

FLOOR PLAN LEGEND	
	NEW ASPHALT. COORDINATE WITH CIVIL
	NEW CONCRETE SLAB ON GRADE. SEE CIVIL
	NEW CONCRETE SLAB FOR DRIVEWAY. SEE ENG.
	NEW LANDSCAPE. SEE L-1
	PROP. EASEMENT
	TACTILE WARNING SURFACE
	MH. MANHOLE
	CATCH BASIN
	UTILITIES LINES.



1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN LEGEND	
	NEW ASPHALT. COORDINATE WITH CIVIL.
	NEW CONCRETE SLAB ON GRADE. SEE CIVIL.
	NEW CONCRETE SLAB FOR DRIVEWAY. SEE ENG.
	NEW LANDSCAPE. SEE L-1
	PROP. EASEMENT
	TACTILE WARNING SURFACE
	MH. MANHOLE
	CATCH BASIN
	UTILITIES LINES.

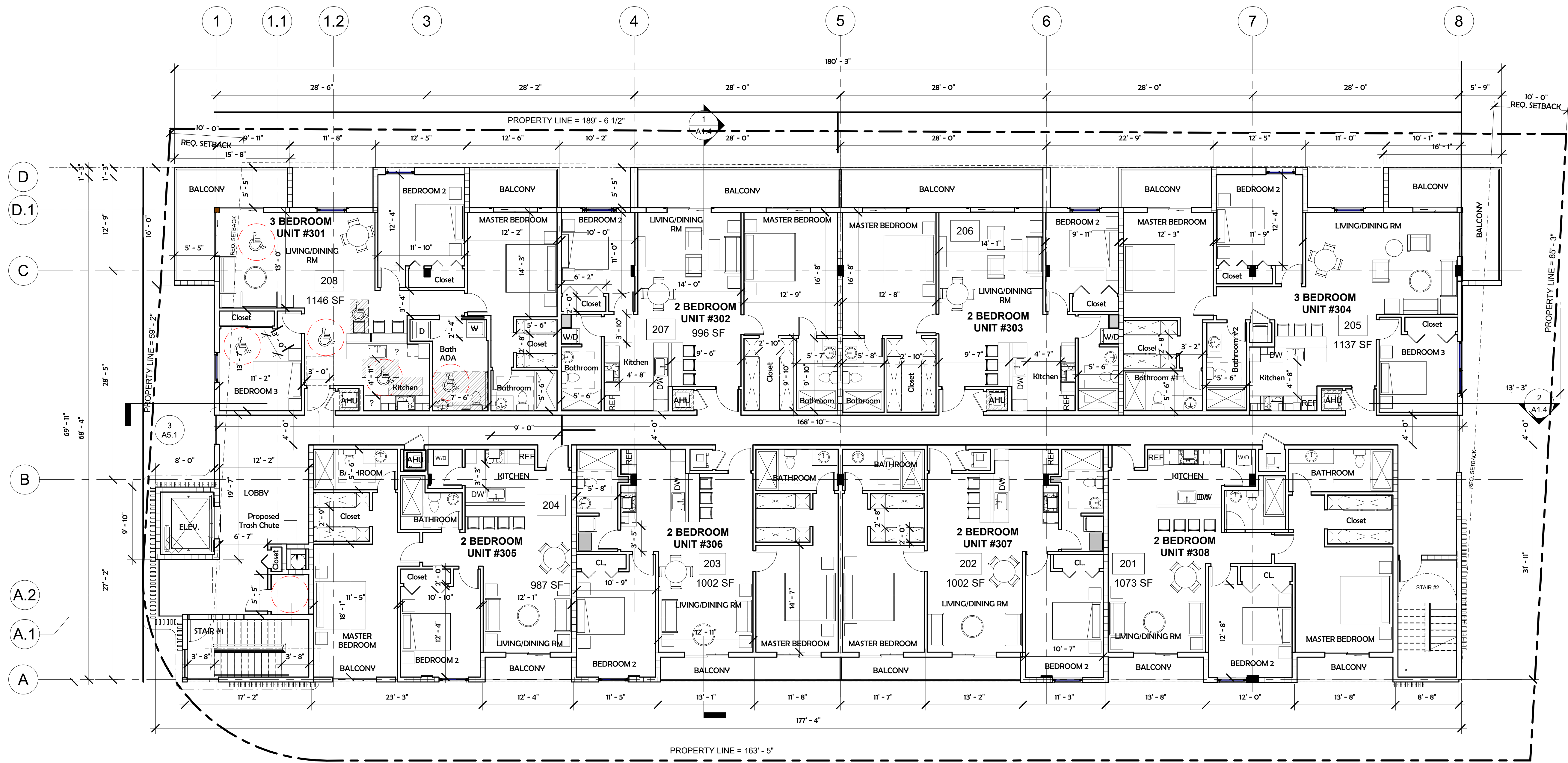
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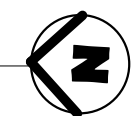
2ND FLOOR TYP.

Project #22-016

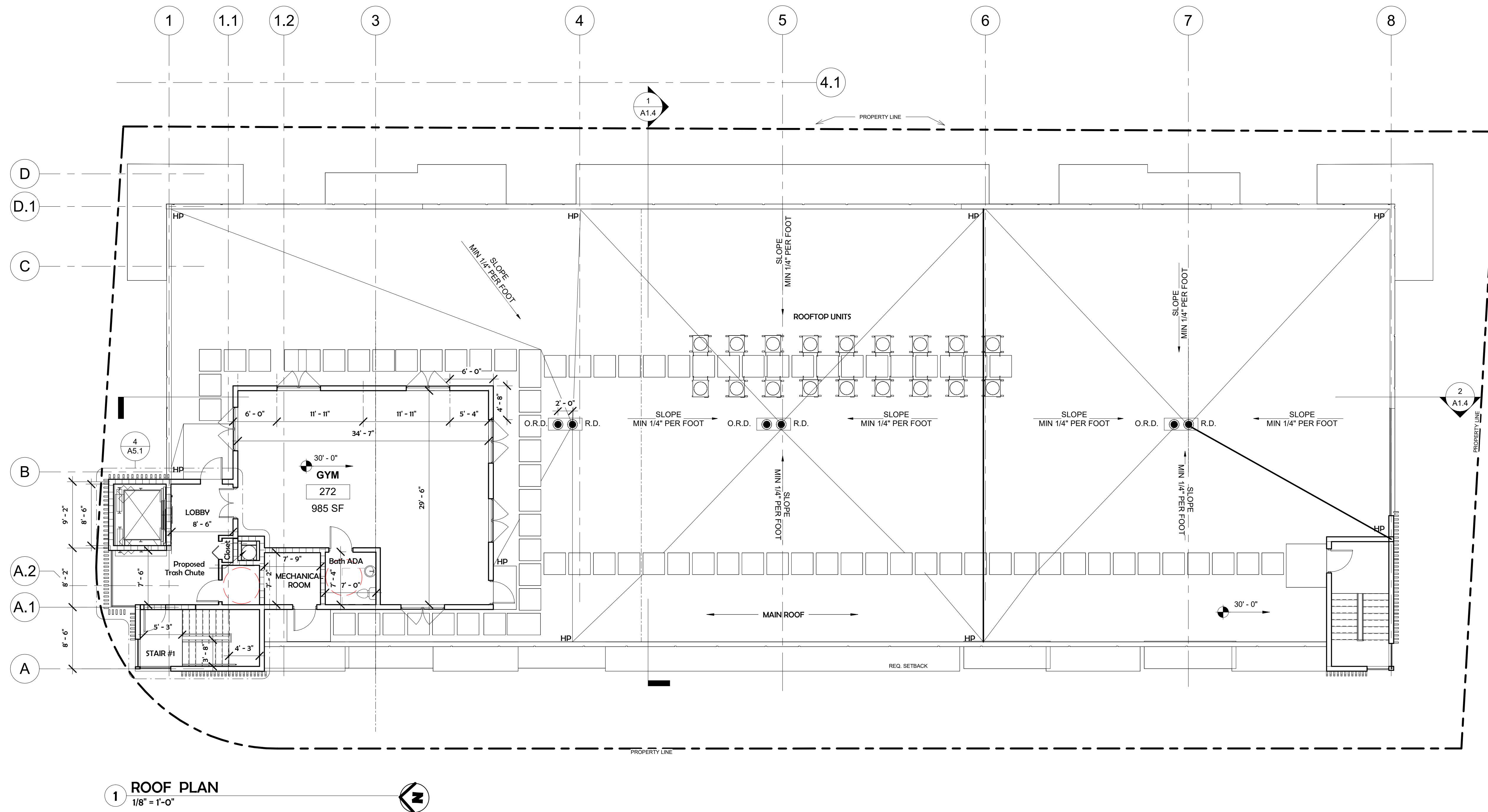
A2.1



1 THIRD FLOOR PLAN (SIM. SECOND FLOOR PLAN)
1/8" = 1'-0"



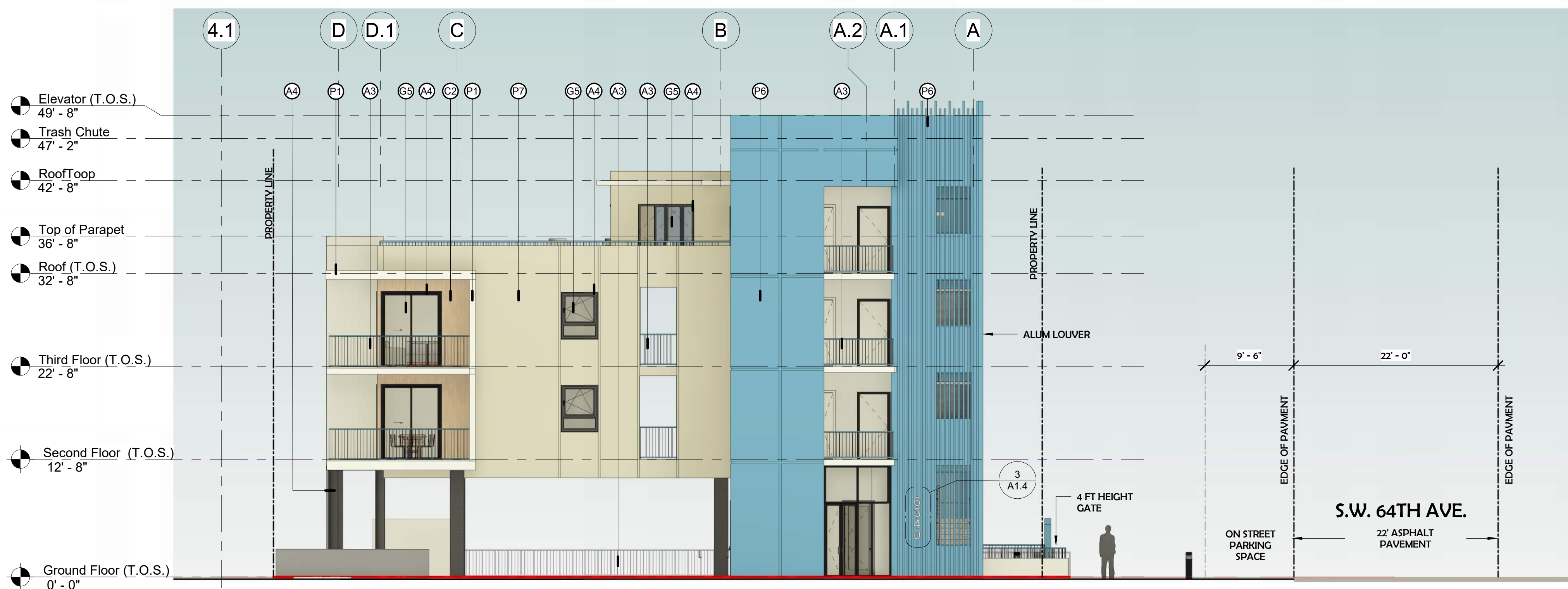
FLOOR PLAN LEGEND	
	NEW ASPHALT. COORDINATE WITH CIVIL.
	NEW CONCRETE SLAB ON GRADE. SEE CIVIL.
	NEW CONCRETE SLAB FOR DRIVEWAY. SEE ENG.
	NEW LANDSCAPE. SEE L-1
	PROP. EASEMENT
	TACTILE WARNING SURFACE
	MH. MANHOLE
	CATCH BASIN
	UTILITIES LINES.








1 WEST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH LEGEND



2 NORTH ELEVATION
1/8" = 1'-0"

<p>SW 7004 Snowbound Interior / Exterior Locator Number: 256-C2</p>	<p>(F1) WHITE WALLS SHERWIN-WILLIAMS SNOWBOUND SW 7004 256-C2</p>	<p>(A4) WINDOW AND DOORS FRAMES BRONZE COLOR</p>
	<p>(C2) WOOD WALLS SYNTHETIC OAK WALL PANELING</p>	<p>(G3) GLAZING BRONZE</p>
	<p>(A3) ALUMINUM/STAINLESS STEEL RAILINGS AND FENCE - TOP AND BOTTOM RAIL PAINTED AZURE TIDE SW 9684</p>	<p>(P6) BLUE WALLS & ALUMINUM RIBBED PROFILES SW 9684 AZURE TIDE</p>
	<p>(P7) BEIGE WALLS SW 7036 ACCESSIBLE BEIGE</p>	<p>(P7) BEIGE WALLS SW 7036 ACCESSIBLE BEIGE</p>



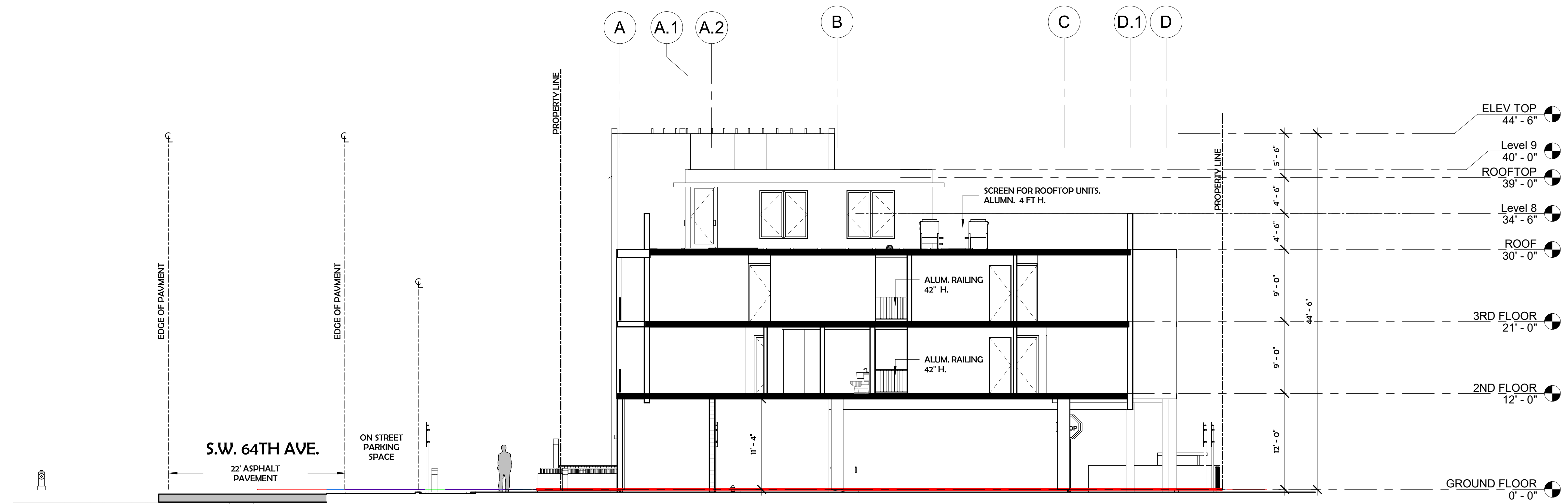
1 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

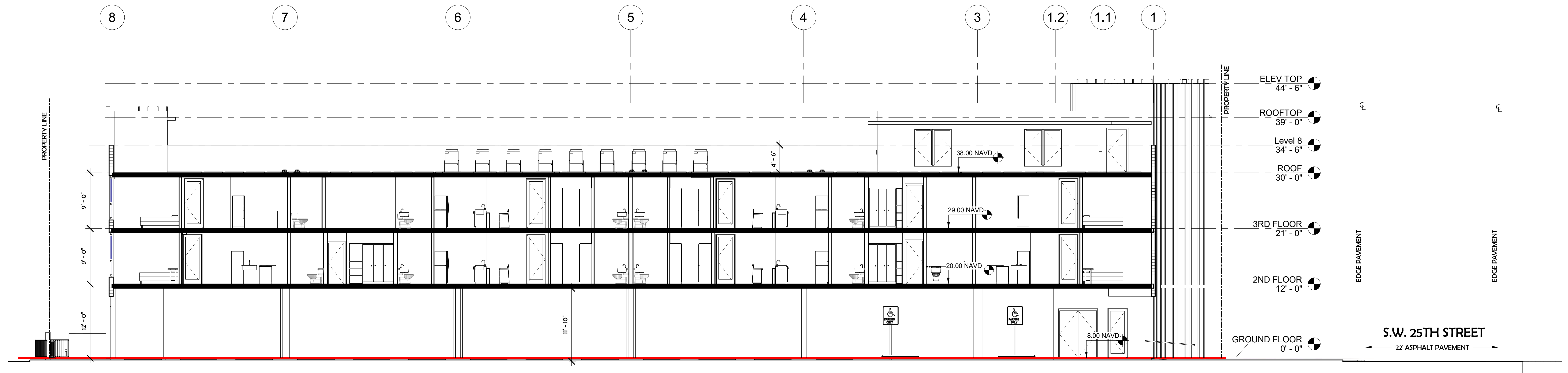


2 SOUTH ELEVATION
1/8" = 1'-0"

<p>SW 7004 Snowbound Interior / Exterior Locator Number: 256-C2</p>	<p>(F1) WHITE WALLS SHERWIN-WILLIAMS SNOWBOUND SW 7004 256-C2</p>	<p>(A4) WINDOW AND DOORS FRAMES BRONZE COLOR</p>
	<p>(C2) WOOD WALLS SYNTHETIC OAK WALL PANELING</p>	<p>(G5) GLAZING BRONZE</p>
	<p>(A3) ALUMINUM/STAINLESS STEEL RAILINGS AND FENCE - TOP AND BOTTOM RAIL PAINTED AZURE TIDE SW 9684</p>	<p>(P6) BLUE WALLS & ALUMINUM RIBBED PROFILES SW 9684 AZURE TIDE</p>
	<p>(P7) BEIGE WALLS SW 7036 ACCESSIBLE BEIGE</p>	<p>(P7) BEIGE WALLS SW 7036 ACCESSIBLE BEIGE</p>



1 GENERAL SECTION #1
1/8" = 1'-0"



2 GENERAL SECTION #2
1/8" = 1'-0"

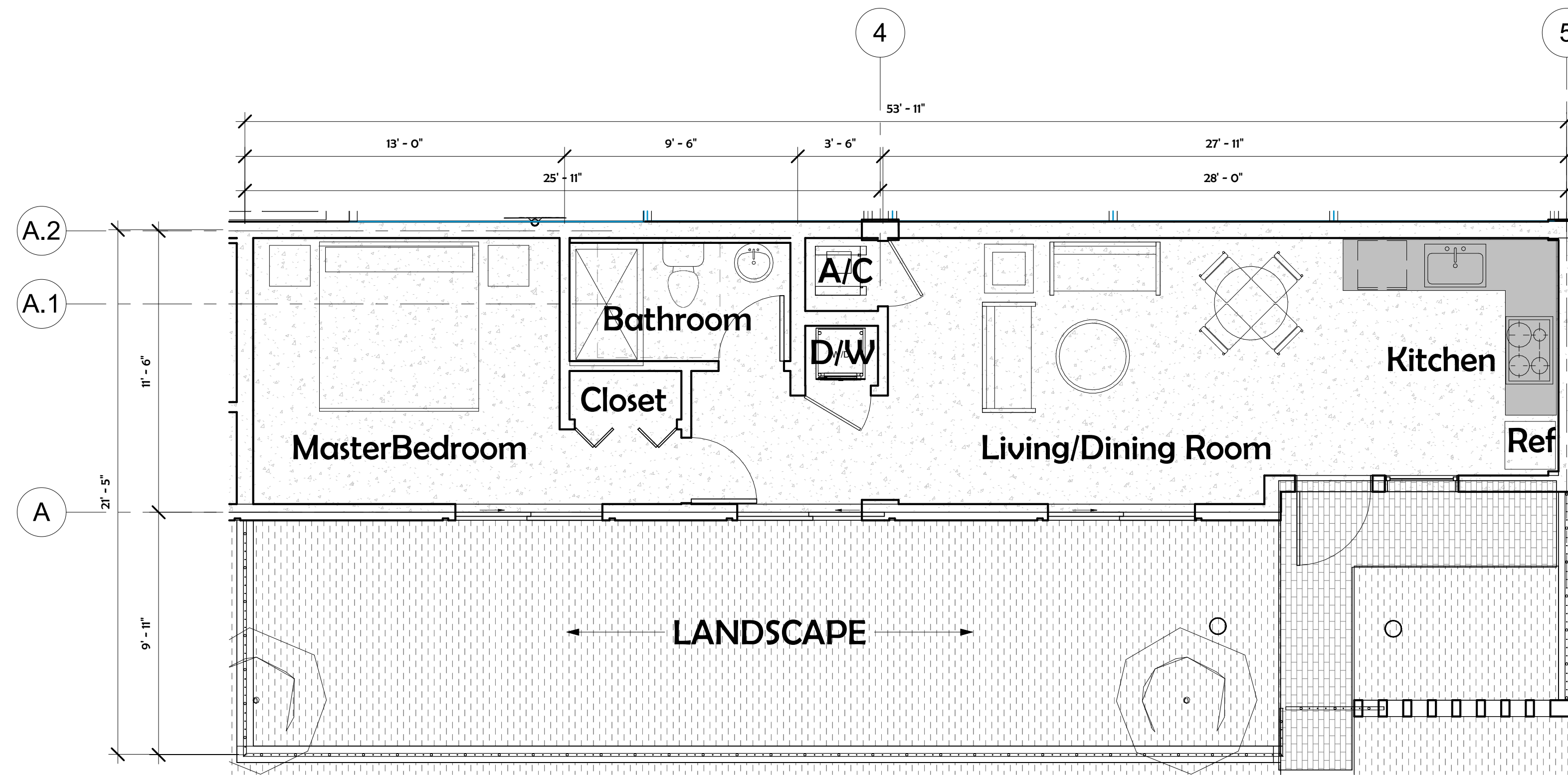
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SECTIONS

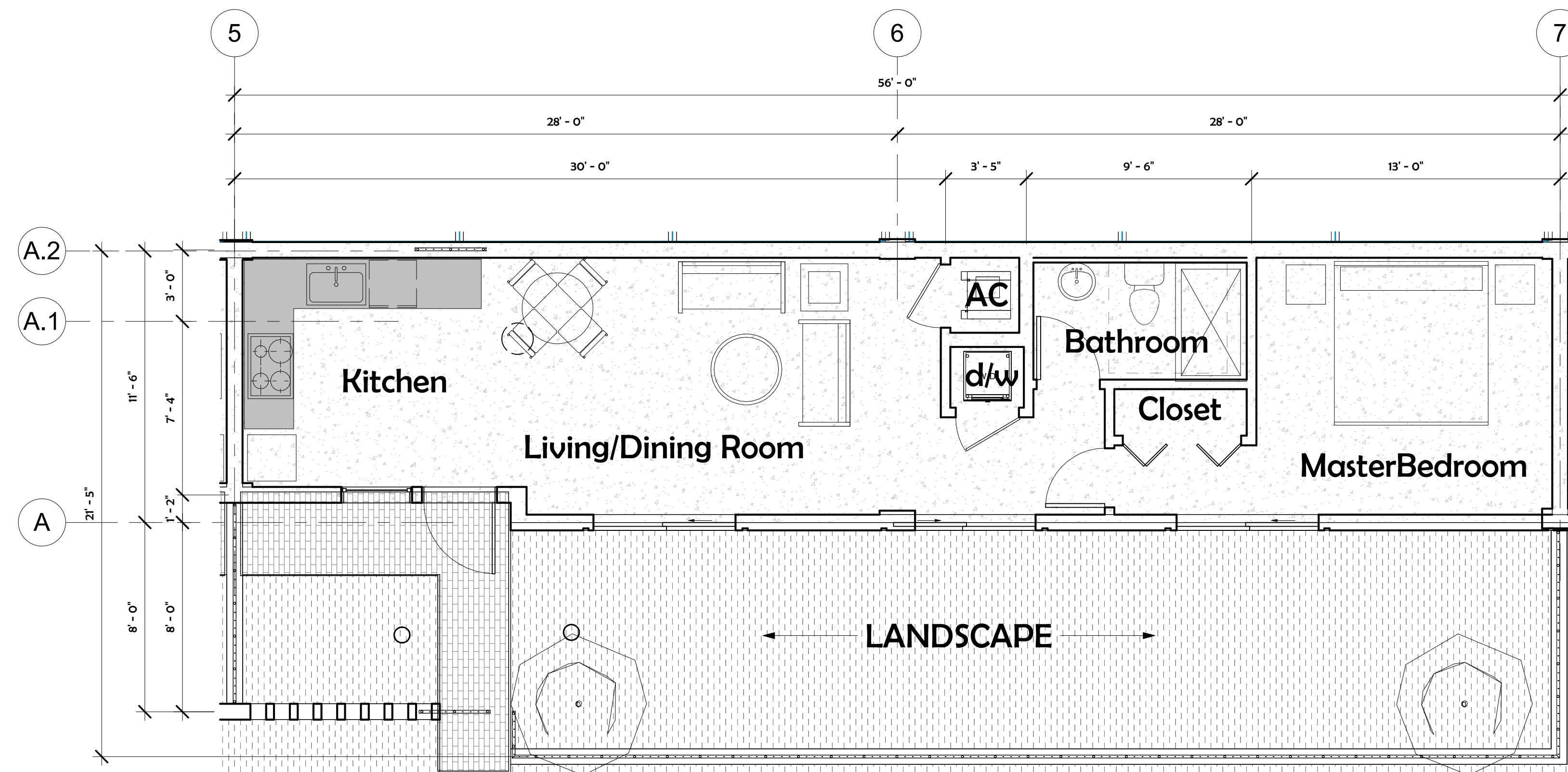
Project #22-016

A4.0



GROUND FLOOR :
(1 Bedroom)
UNIT #101
 (Area = 625 Sq)

1 GROUND FLOOR - UNIT #101
 1/4" = 1'-0"



GROUND FLOOR :
(1 Bedroom)
UNIT #102
 (Area = 625 Sq)

2 GROUND FLOOR - UNIT #102
 1/4" = 1'-0"

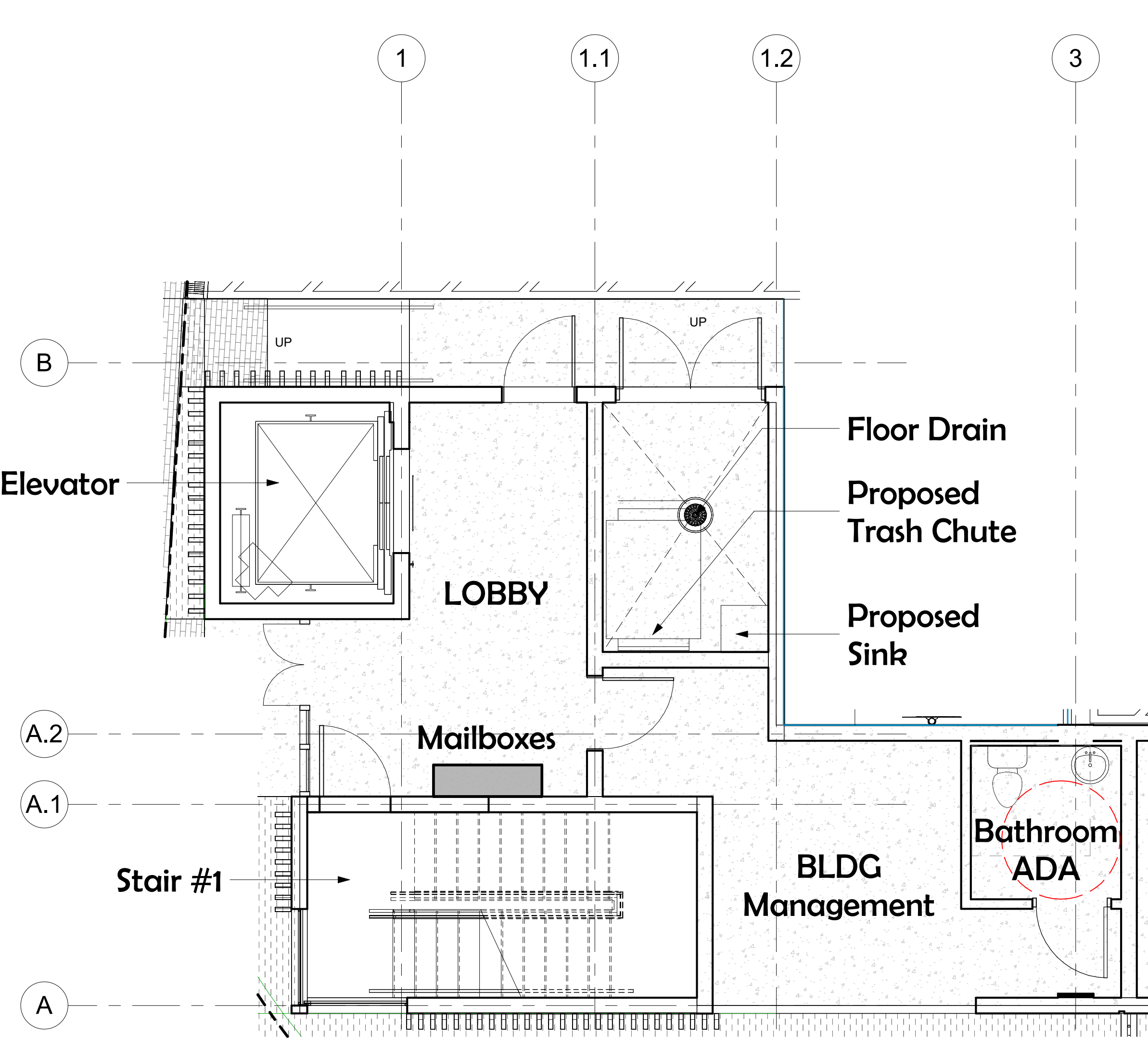
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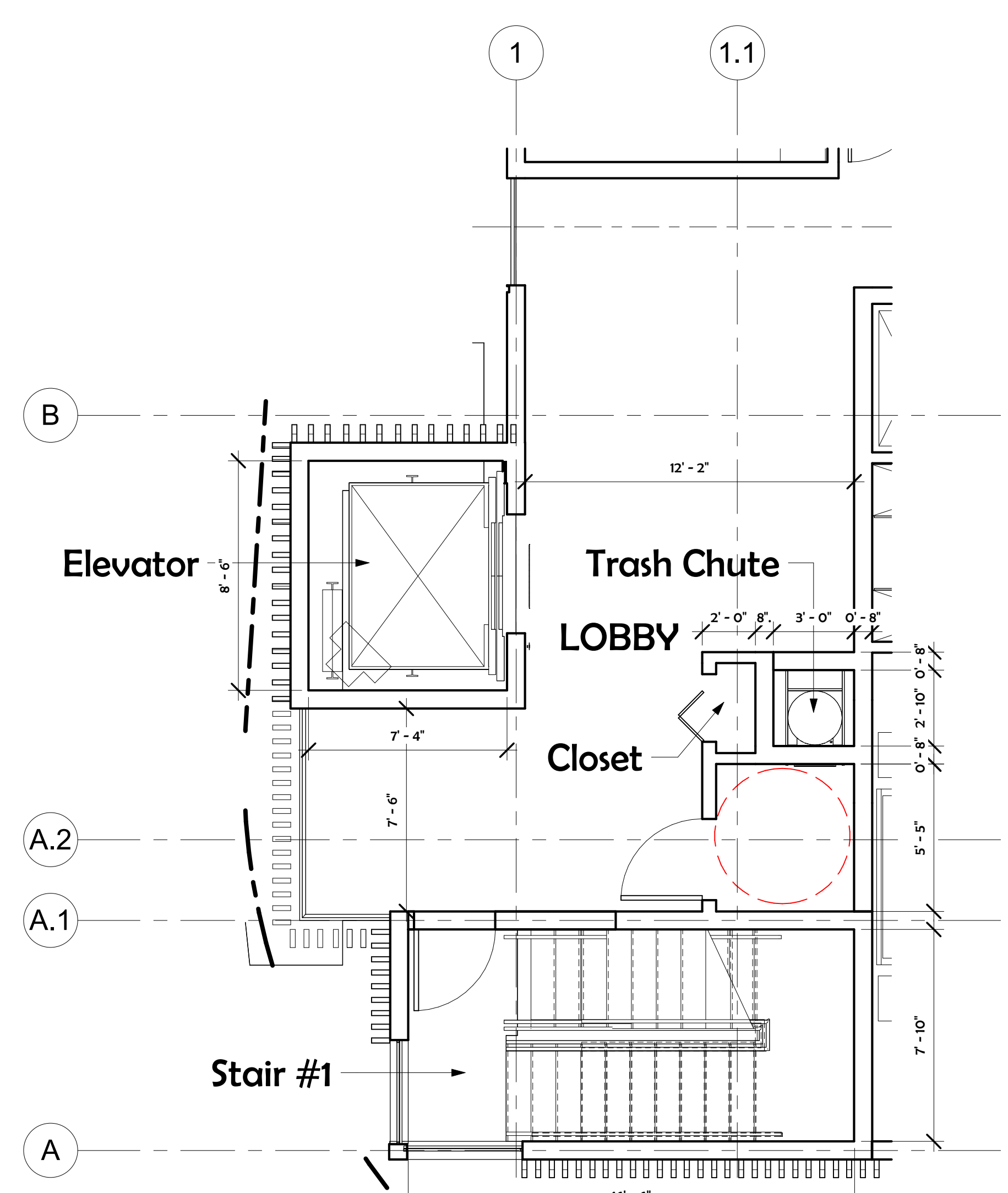
ENLARGED STUDIO UNIT 101 & 102

Project #22-016

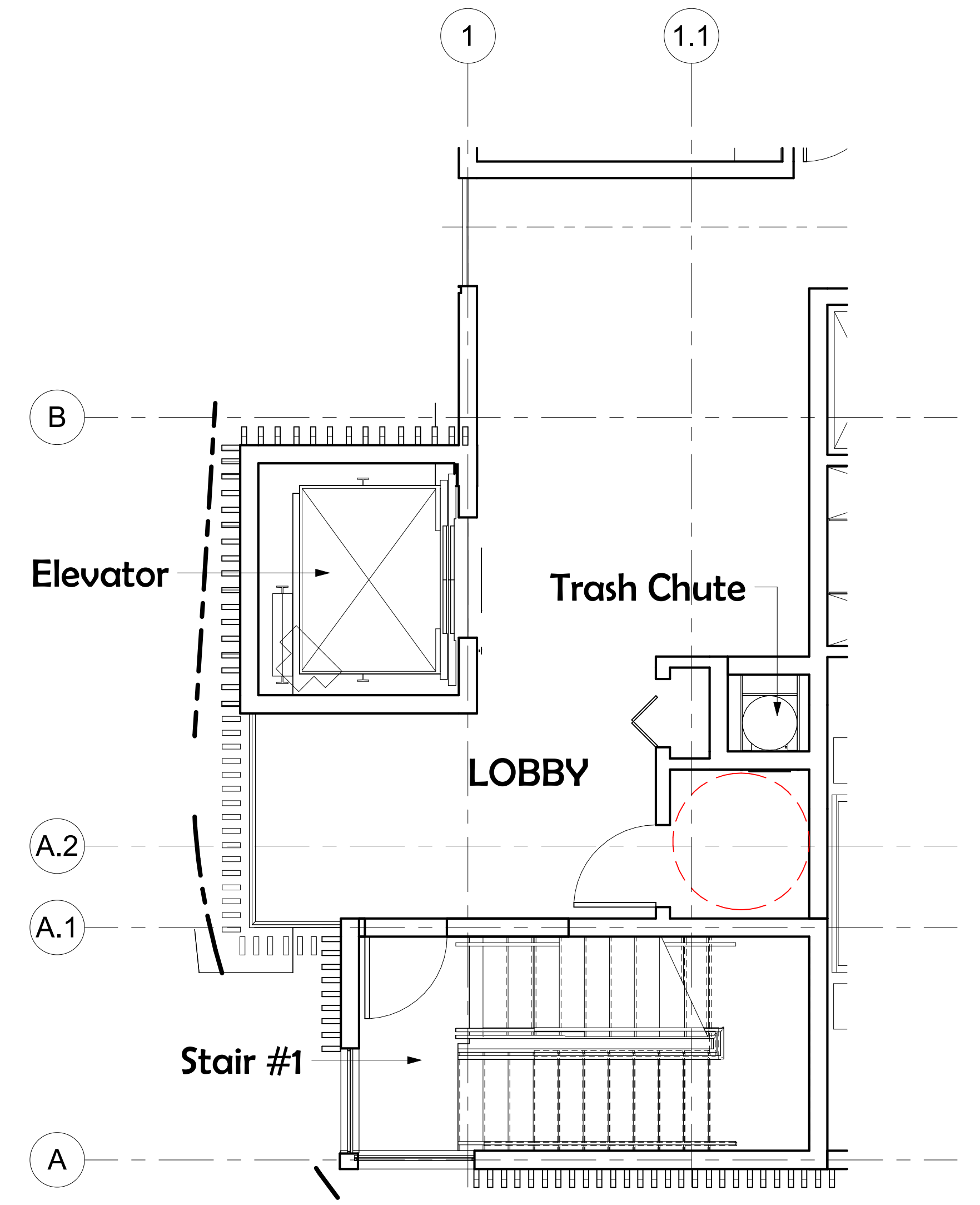
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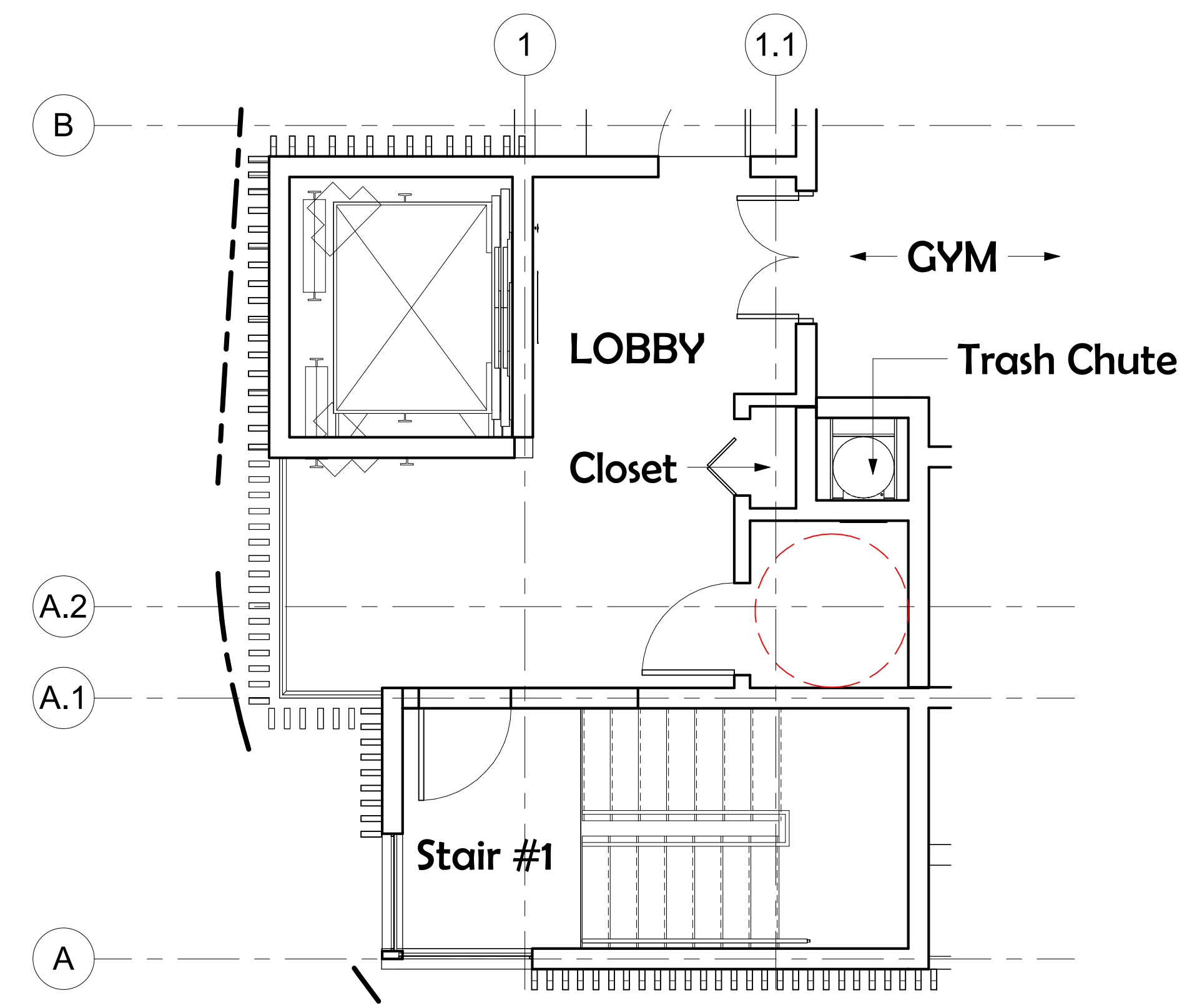
1 GROUND FLOOR - ENLARGED LOBBY & OFFICE
1/4" = 1'-0"



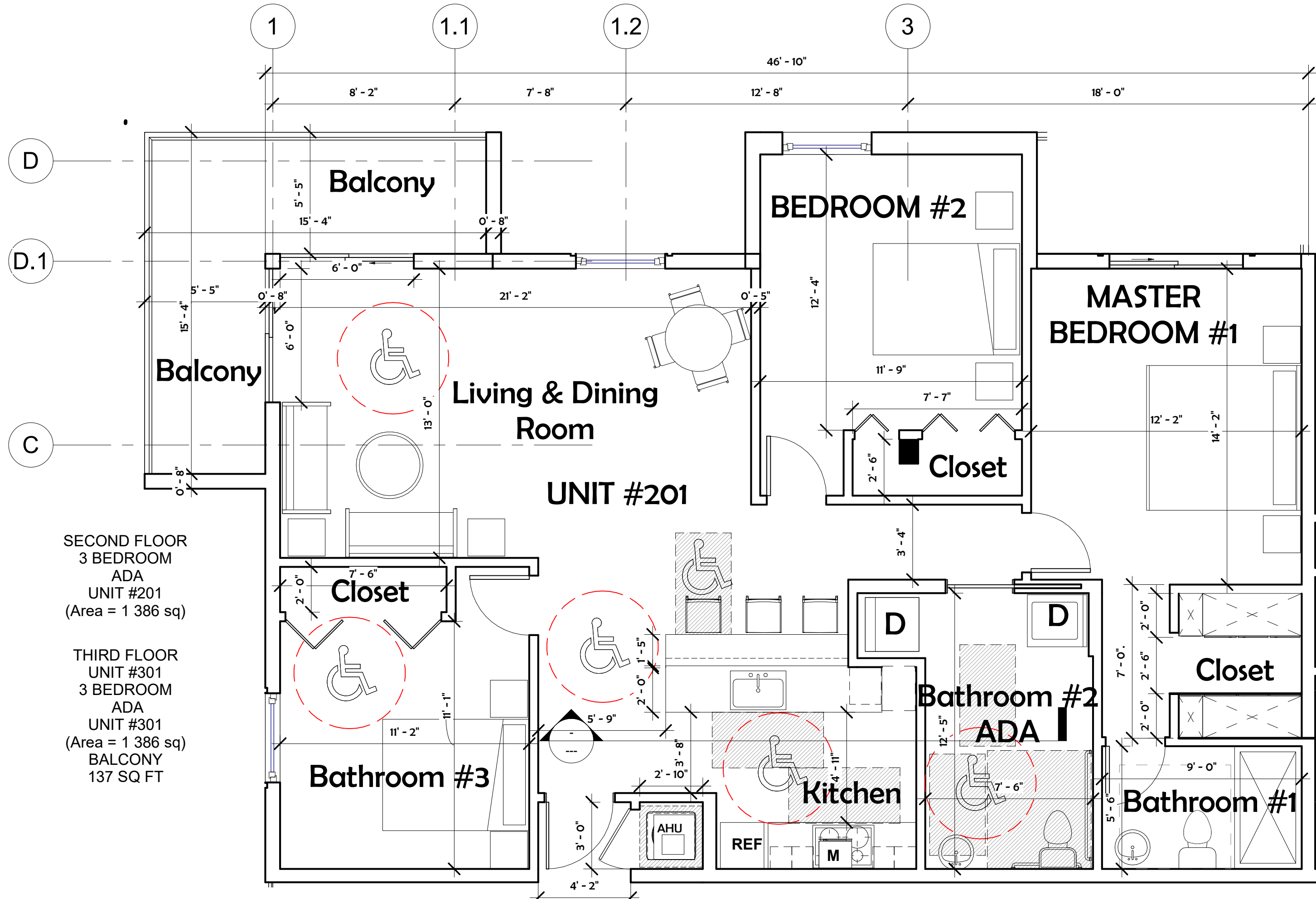
2 SECOND FLOOR - ENLARGED LOBBY & TRASH CHUTE
1/4" = 1'-0"



3 THIRD FLOOR - ENLARGED LOBBY & TRASH CHUTE
1/4" = 1'-0"



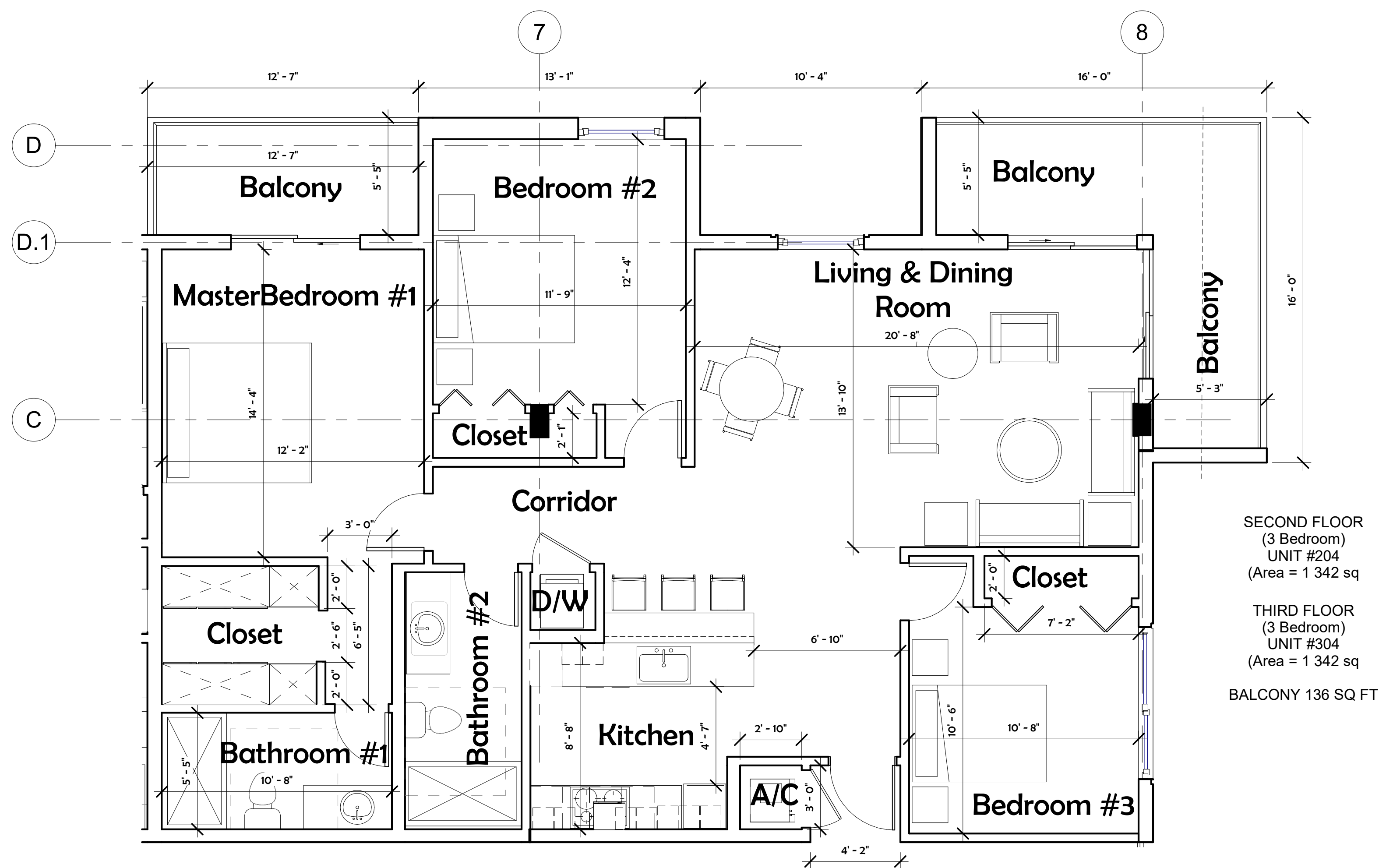
4 ROOF PLAN - ENLARGED LOBBY & TRASH CHUTE
1/4" = 1'-0"



SECOND FLOOR
3 BEDROOM
ADA
UNIT #201
(Area = 1 386 sq)

THIRD FLOOR
UNIT #301
3 BEDROOM
ADA
UNIT #301
(Area = 1 386 sq)
BALCONY
137 SQ FT

4 ENLARGED - UNIT #201 & 301 - 3 BEDROOM (ADA)
1/4" = 1'-0"

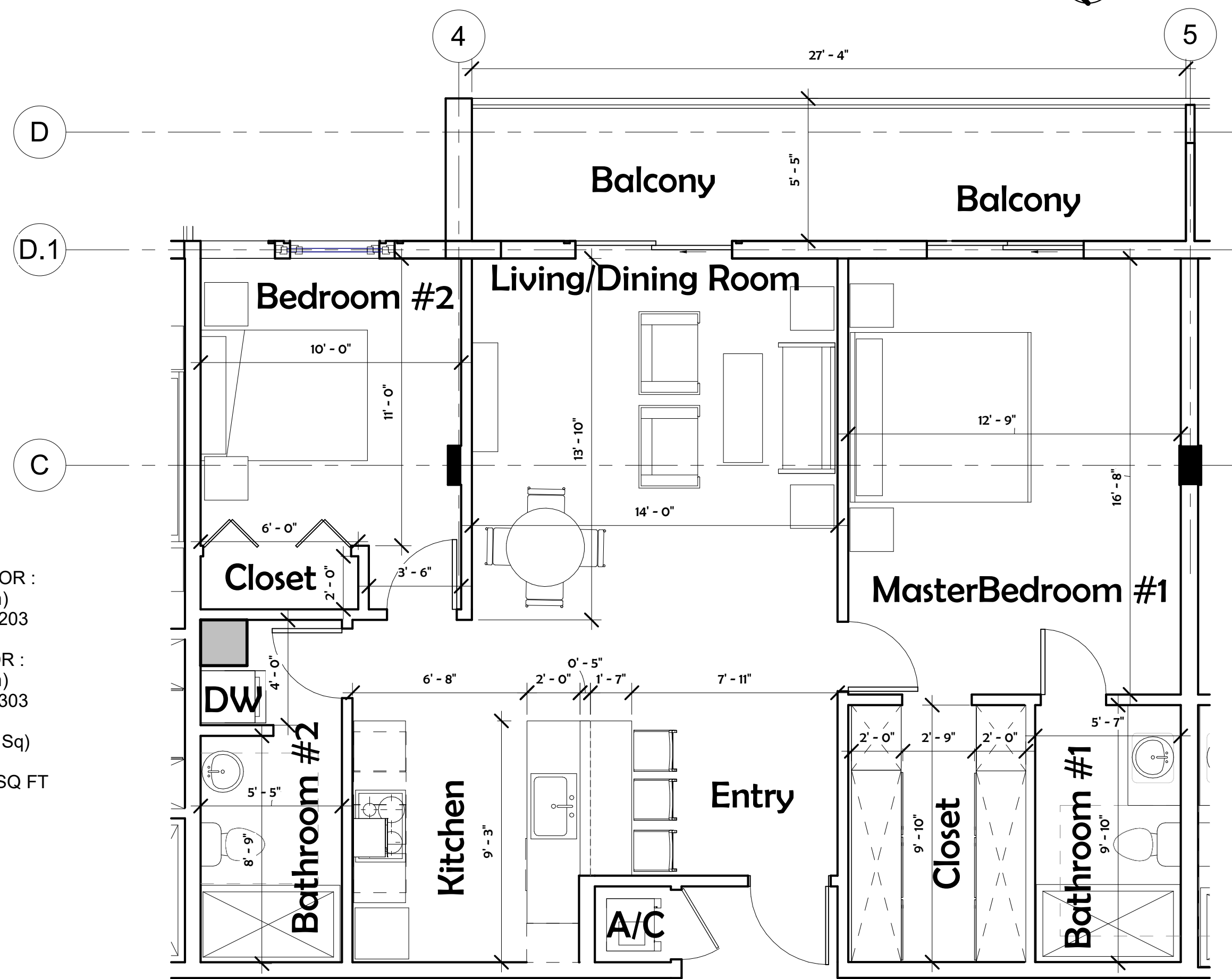


SECOND FLOOR
(3 Bedroom)
UNIT #204
(Area = 1 342 sq)

THIRD FLOOR
(3 Bedroom)
UNIT #304
(Area = 1 342 sq)

BALCONY 136 SQ FT

1 ENLARGED - UNIT #204 & 304 - 3 BEDROOM
1/4" = 1'-0"



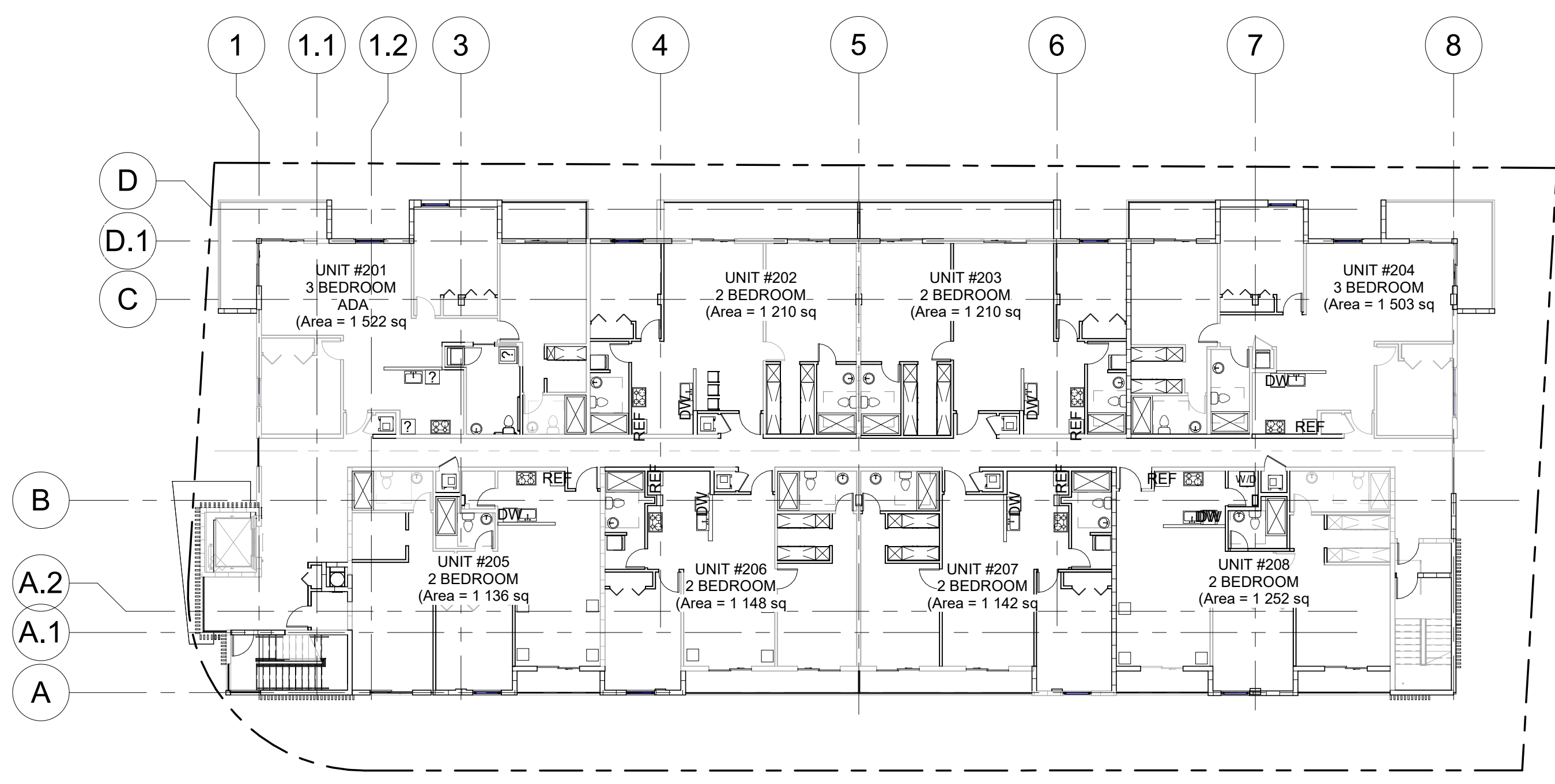
SECOND FLOOR :
(2 Bedroom)
UNIT #202 & 203

THIRD FLOOR :
(2 Bedroom)
UNIT #302 & 303
(Area = 1 050 Sq)

BALCONY 149 SQ FT

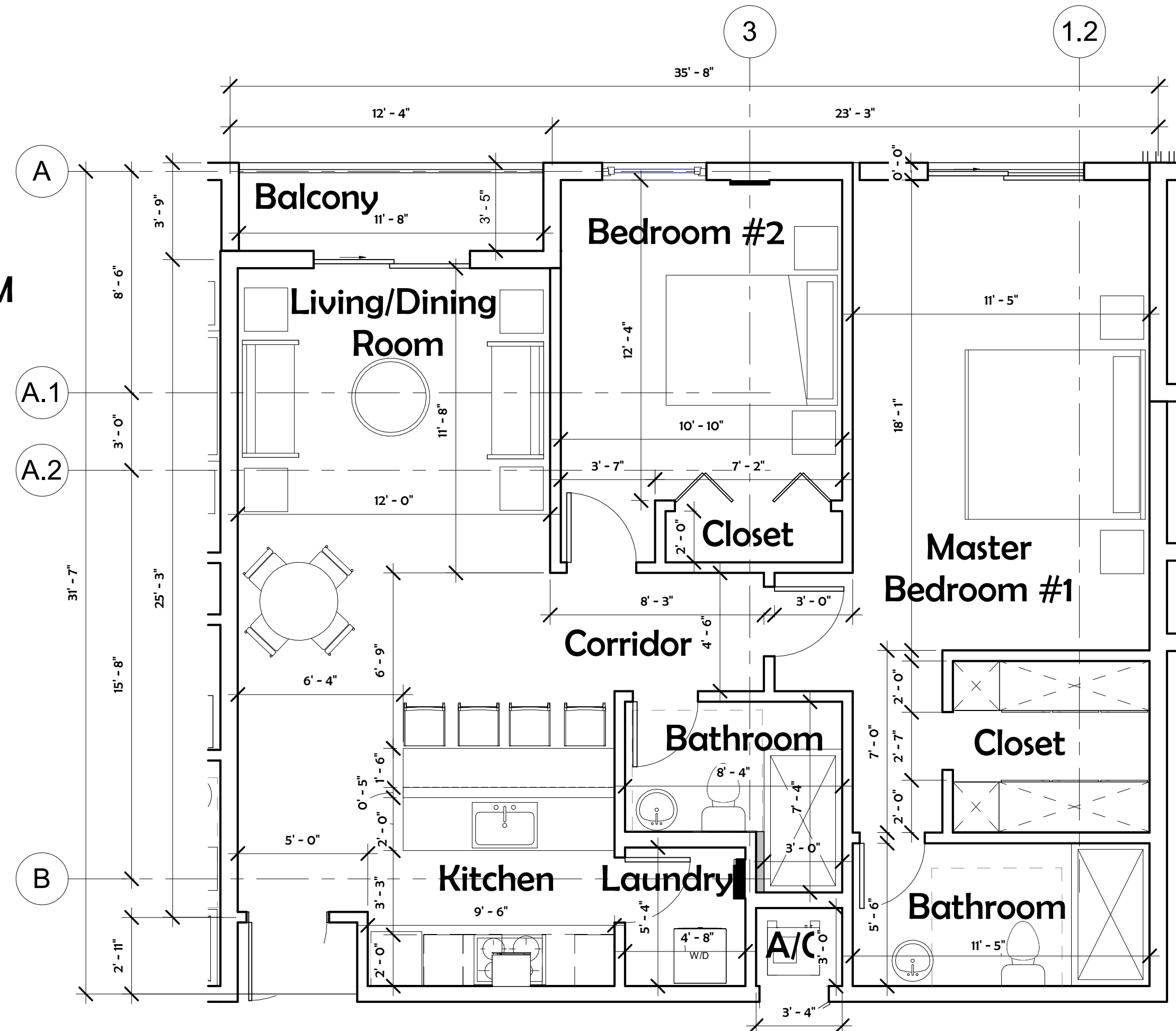
5 ENLARGED - UNIT #202 & 203 & 302 & 303 2 BEDROOM
1/4" = 1'-0"

UNIT #	UNIT AREA	BALCONY AREA
UNIT 201	1386 SQ FT	137 SQ FT
UNIT 301	1386 SQ FT	137 SQ FT
UNIT 204	1342 SQ FT	136 SQ FT
UNIT 304	1342 SQ FT	136 SQ FT
UNIT 202	1050 SQ FT	149 SQ FT
UNIT 302	1050 SQ FT	149 SQ FT
UNIT 303	1050 SQ FT	149 SQ FT



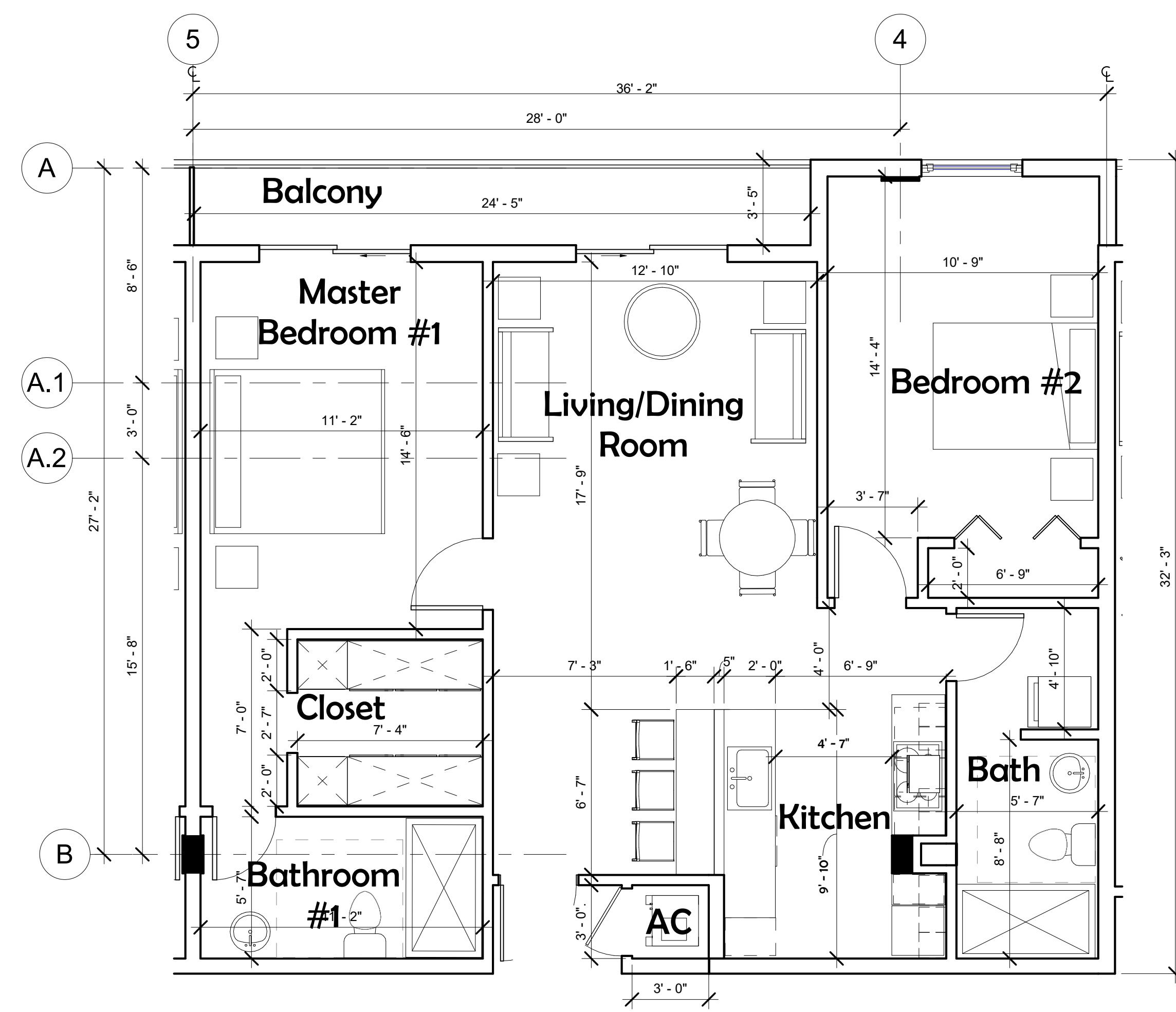
3 KEY PLAN - SECOND & THIRD FLOOR (TYP)
1/16" = 1'-0"

2 BEDROOM
 UNIT AREA
 1072 SQ FT
 BALCONY
 40 SQ FT



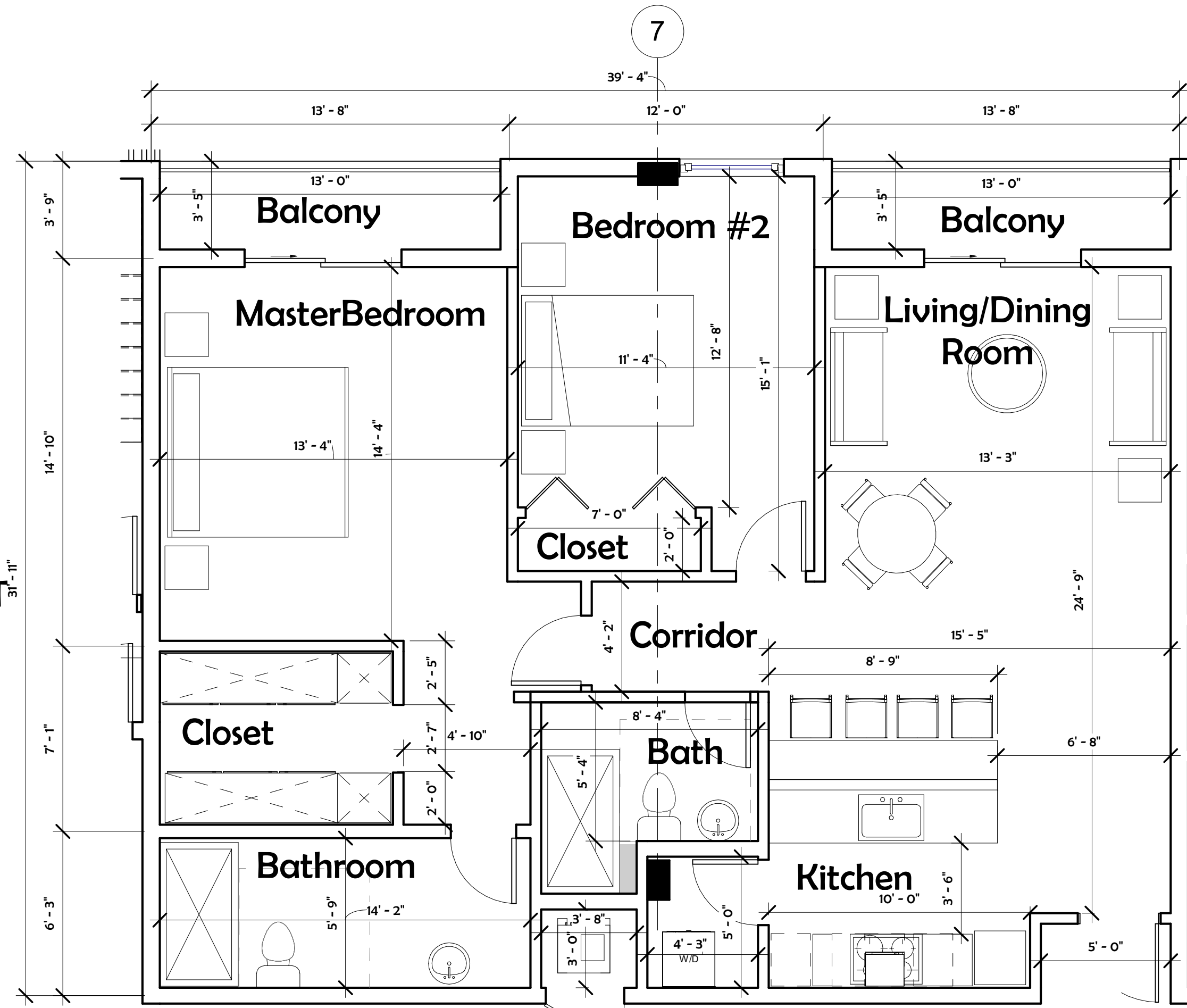
11 SECOND FLOOR - UNIT #205 & 305 - 2 BEDROOM
 1/4" = 1'-0"

2 BEDROOM
 UNIT AREA
 1029 SQ FT
 BALCONY
 83 SQ FT



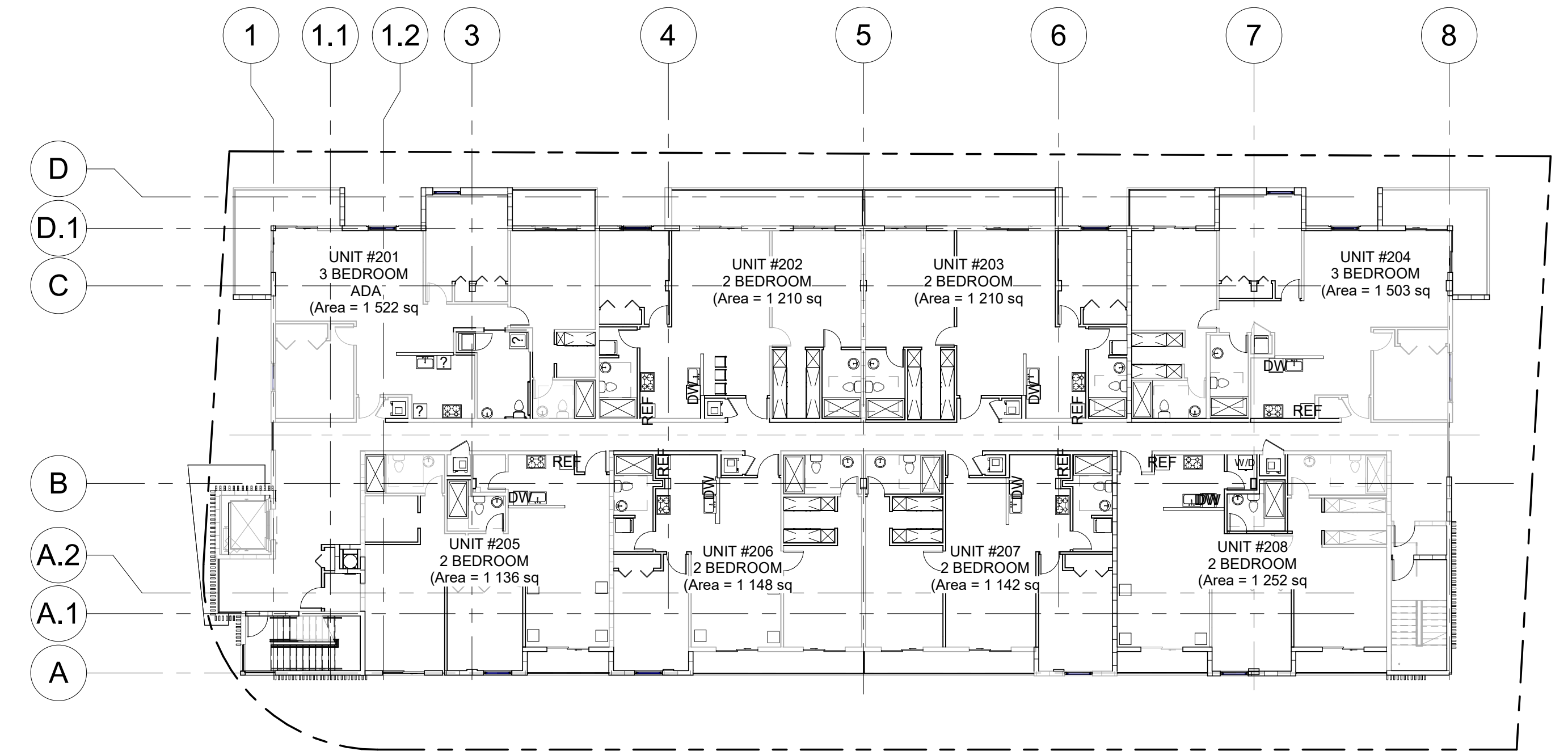
2 2ND FLOOR - UNIT #206/207 & 306/307 - 2 BEDROOM
 1/4" = 1'-0"

2 BEDROOM
 UNIT AREA
 1135 SQ FT
 BALCONY 88 SQ FT



SECOND FLOOR - UNIT #208 & 308 - 2 BEDROOM

UNIT #	UNIT AREA	BALCONY AREA
UNIT 205	1072 SQ FT	40 SQ FT
UNIT 305	1072 SQ FT	40 SQ FT
UNIT 206	1029 SQ FT	83 SQ FT
UNIT 207	1029 SQ FT	83 SQ FT
UNIT 306	1029 SQ FT	83 SQ FT
UNIT 307	1029 SQ FT	83 SQ FT
UNIT 208	1135 SQ FT	88 SQ FT
UNIT 308	1135 SQ FT	88 SQ FT



4 KEY PLAN - SECOND FLOOR & THIRD FLOOR (TYP)
 1/16" = 1'-0"

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NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
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ENLARGED UNITS TYPES - SECOND & THIRD FLOOR

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A5.3





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SOUTH WEST VIEW

Project #22-016

A6.1



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SOUTH EAST VIEW

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A6.2



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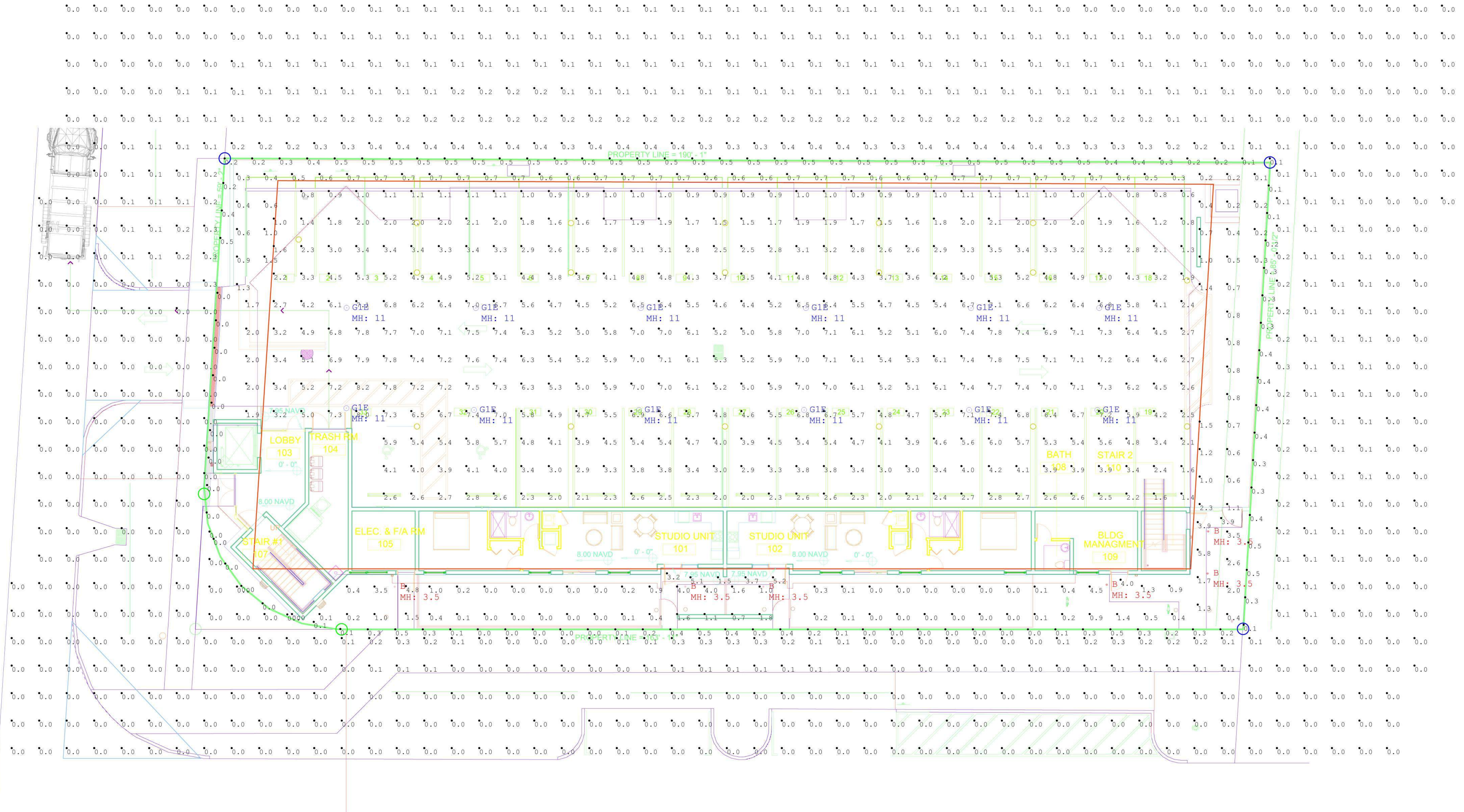
APPROVAL
DEVELOPMENT
REVIEW
COMMITTEE
DATE: 06/25/2025

NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

NORTH EAST VIEW

Project #22-016

A6.3



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
⊕	6	B	Single	PIL KHAS-42-14-XX-XX-UNV-NA	0.900	592	14	84	
⊙	12	G1E	Single	SLG Lighting PG-LS100-G3-FSK-EMD-SH08D-UNV-063	0.900	4527	30.12	361.44	

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Beyond Property	Illuminance	Fc	0.06	0.4	0.0	N.A.	N.A.	
Parking Garage	Illuminance	Fc	4.27	8.2	0.8	5.34	10.25	
Property Line	Illuminance	Fc	0.27	0.5	0.0	N.A.	N.A.	
Sidewalk	Illuminance	Fc	3.19	5.8	0.9	3.54	6.44	
To Property Line	Illuminance	Fc	0.66	4.5	0.0	N.A.	N.A.	

CITY OF MIRAMAR
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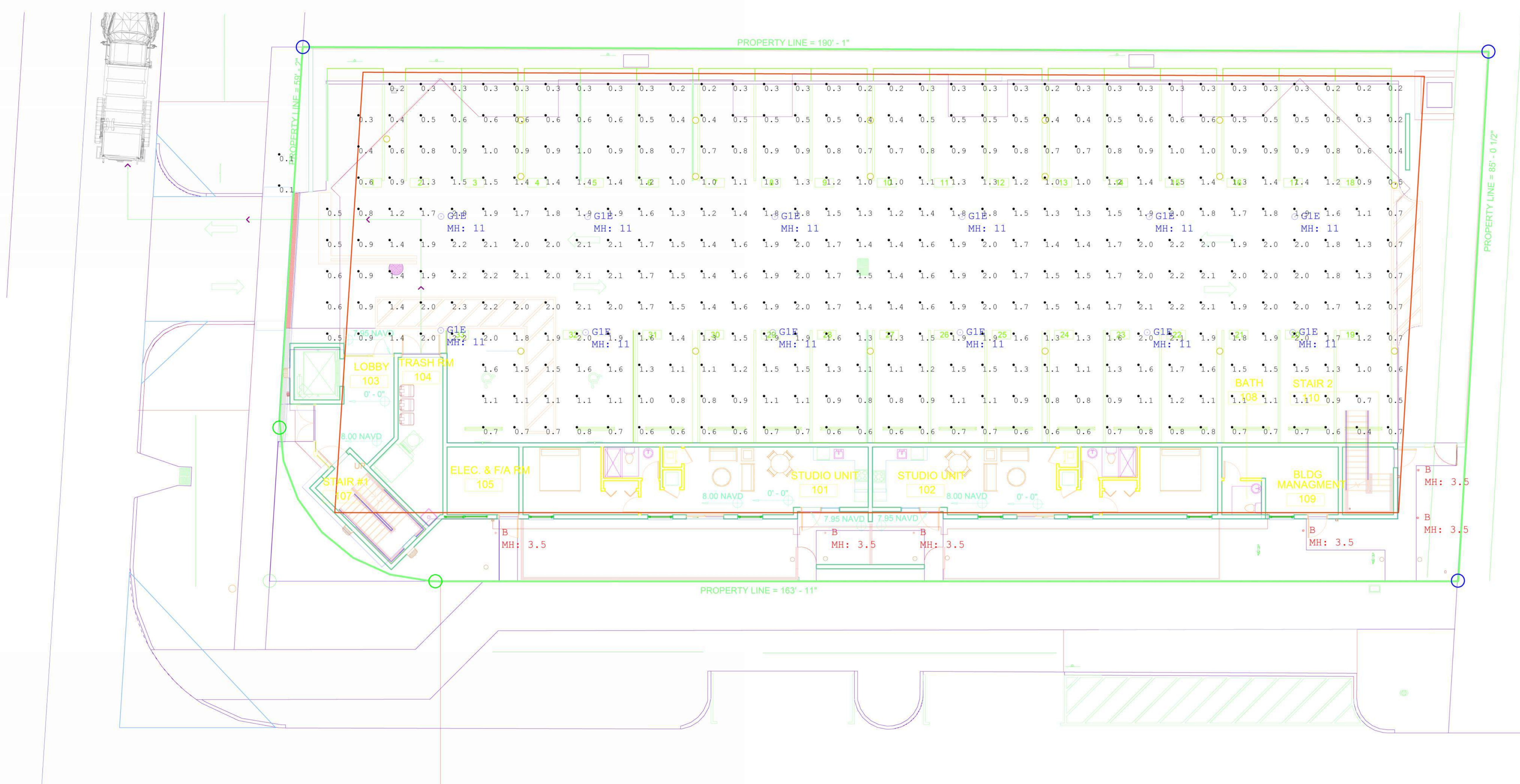


NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

PHOTOMETRICS NORMAL

Project #22-016

PH1.0



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
⊕	6	B	Single	PIL KHAS-42-14-XX-XX-UNV-NA	0.900	592	14	84	
⊙	12	G1E	Single	SLG Lighting PG-LS100-G3-FSK-EMD-SH08D-UNV-063	0.250	4527	30.12	361.44	

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
Parking Garage	Illuminance	Fc	1.19	2.3	0.2	5.95	11.50		

CITY OF MIRAMAR
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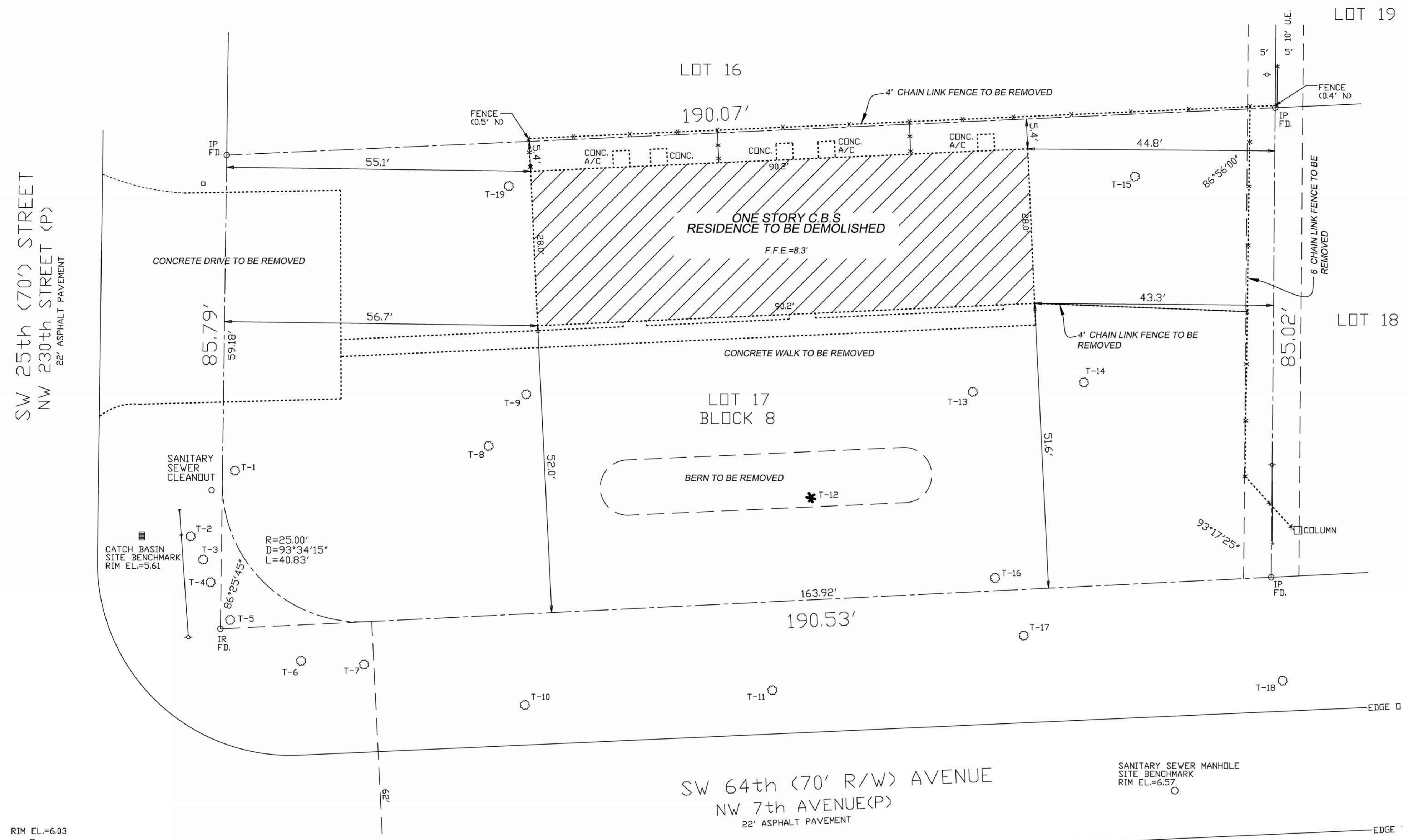
SKLARArchitecture
 Commercial & Residential Architecture
 P - 954 925 9292
 www.sklararchitect.com

NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

PHOTOMETRICS EM

Project #22-016

PH1.1



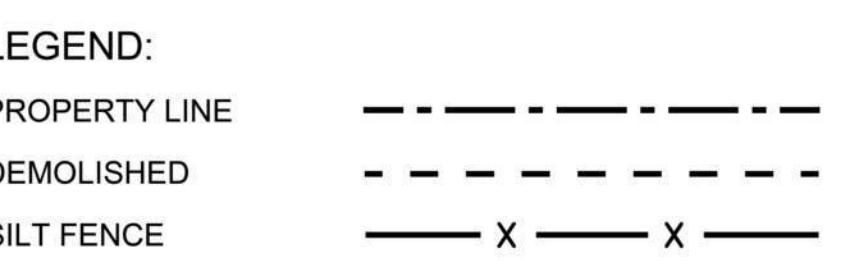
EROSION & SEDIMENT CONTROL and SOIL STABILIZATION NOTES

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS, BY INSTALLING SOIL OR GRAVEL OVER LOOSE SOIL, WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

GENERAL DEMOLITION NOTES

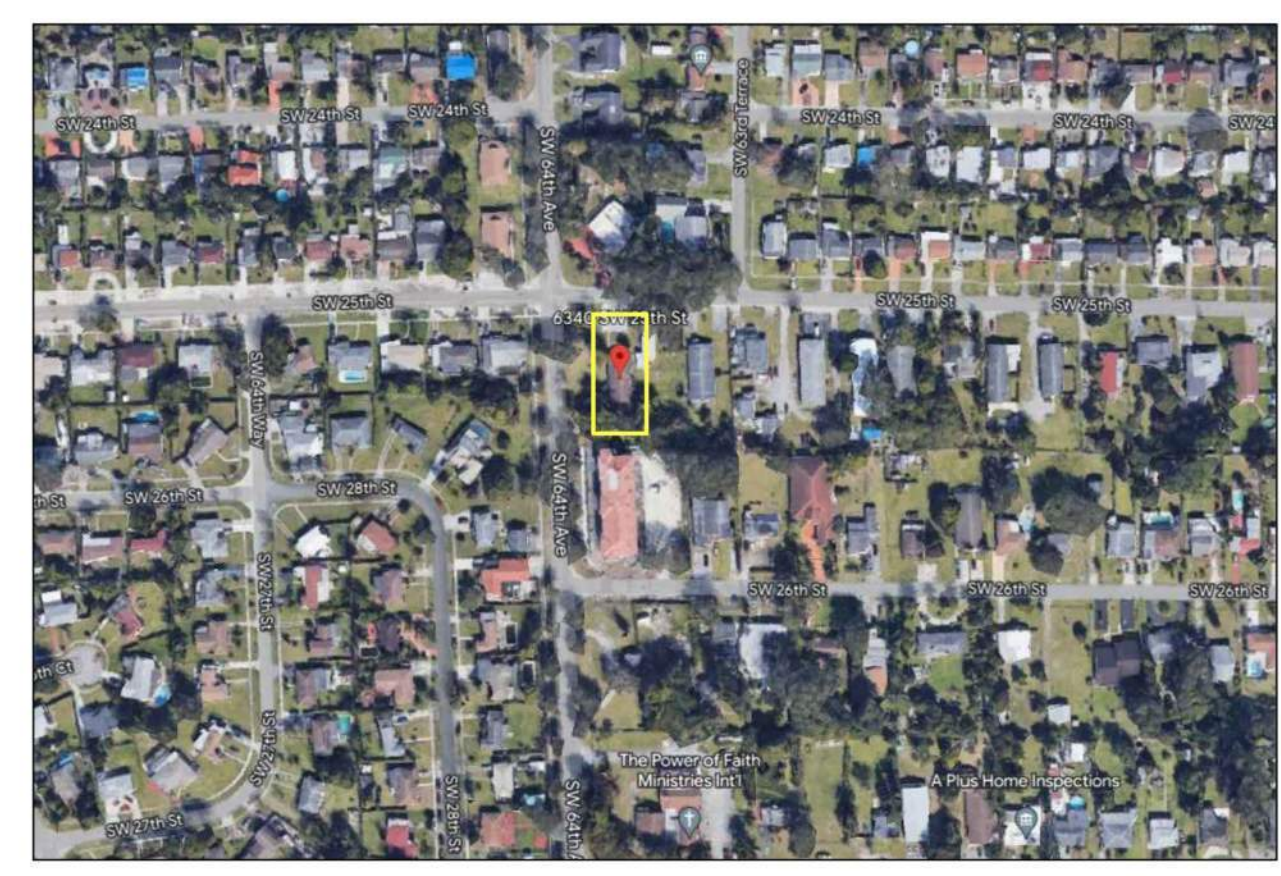
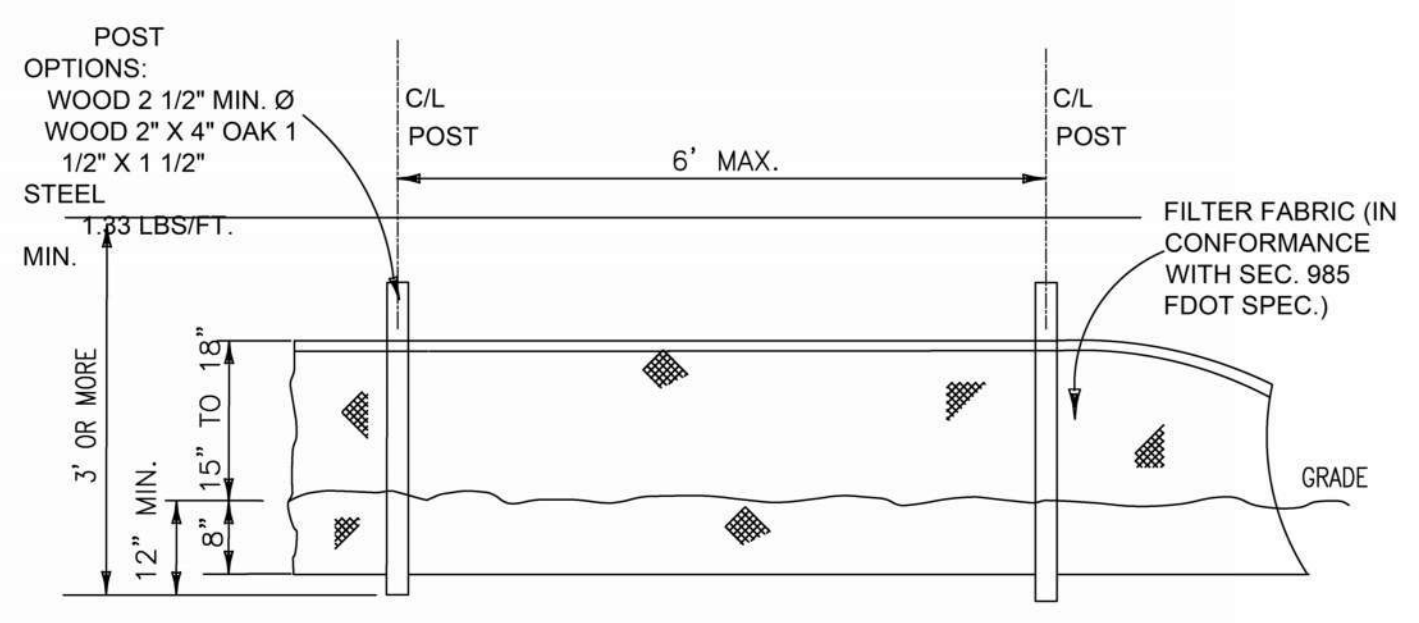
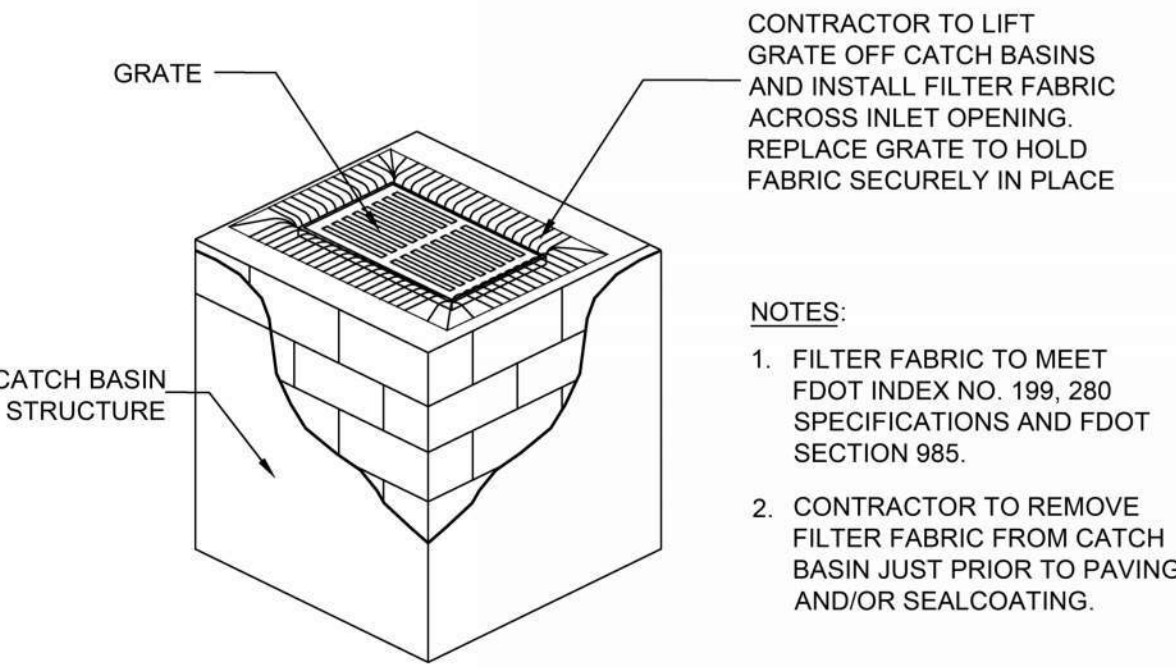
1. PROVIDE DEMOLITION AS THIS IS FOR FULL DEMOLITION OF EXISTING BUILDING BY DRAWINGS, IN SCHEDULES, AND HEREIN SPECIFIED.
2. IT IS THE INTENT OF THESE PLANS TO SHOW THE GENERAL EXTENTS OF THE DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE DEMOLITION WORK WITH THE INTENT OF THE PROPOSED DESIGN. ANY UNFORESEEN DEMOLITION NOT SHOWN IN THIS PLAN, AND WHICH IS REQUIRED TO MEET THE INTENT OF THE PROPOSED DESIGN, MUST BE INCLUDED IN THE CONTRACTOR SCOPE OF WORK.
3. SALVAGE ITEMS: ITEMS INDICATED TO BE REMOVED WITH NO VALUE TO OWNER BUT OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES.
4. PROTECTIONS: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - A) PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
 - B) ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - C) PROVIDE PROTECTION TO NEIGHBORING PROPERTIES & PUBLIC R.O.W. BRACING, OR SUPPORT TO PREVENT MOVEMENT, AND THIS IS ALSO FOR SOIL STABILIZATION.
 - D) REMOVE PROTECTIONS AT COMPLETION OF WORK.
5. UTILITY SERVICES: CAP & REMOVE ALL UTILITIES FROM STRUCTURE & OBTAIN APPROPRIATE APPROVALS & PERMITS FROM ALL UTILITY COMPANIES.
 - A) PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES.
 - B) PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
6. CLEAN-UP AND REPAIR:
 - A) UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - B) REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
 - C) DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER.
 - D) REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF-SITE.
 - E) PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
7. EXPLOSIVES: THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
8. ENVIRONMENTAL CONTROLS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
9. ALL EXISTING PARKING SPACES SHALL BE NO LONGER BE USABLE DURING DEMOLITION.

- PROPERTY NOTE:**
1. THIS BUILDING IS BEING DEMOLISHED AND SITE IS BEING CLEARED TO ALLOW FOR NEW CONSTRUCTION
 2. REMOVE ALL EXISTING STRUCTURES, CONCRETE SLABS, PLANTERS, WALKWAYS, DRIVEWAYS, FENCES OR ANY OTHER ACCESSORY STRUCTURES.
 3. NEW LANDSCAPING & TREE REMOVAL TO BE PROCESSED
 4. PROVIDE SEPARATE PERMITS TO CAP ALL EXISTING UTILITIES PROPERLY.
 5. PROPERTY MUST BE SODDED AFTER DEMOLITION OF BUILDING, AND THIS IS ALSO FOR SOIL STABILIZATION.



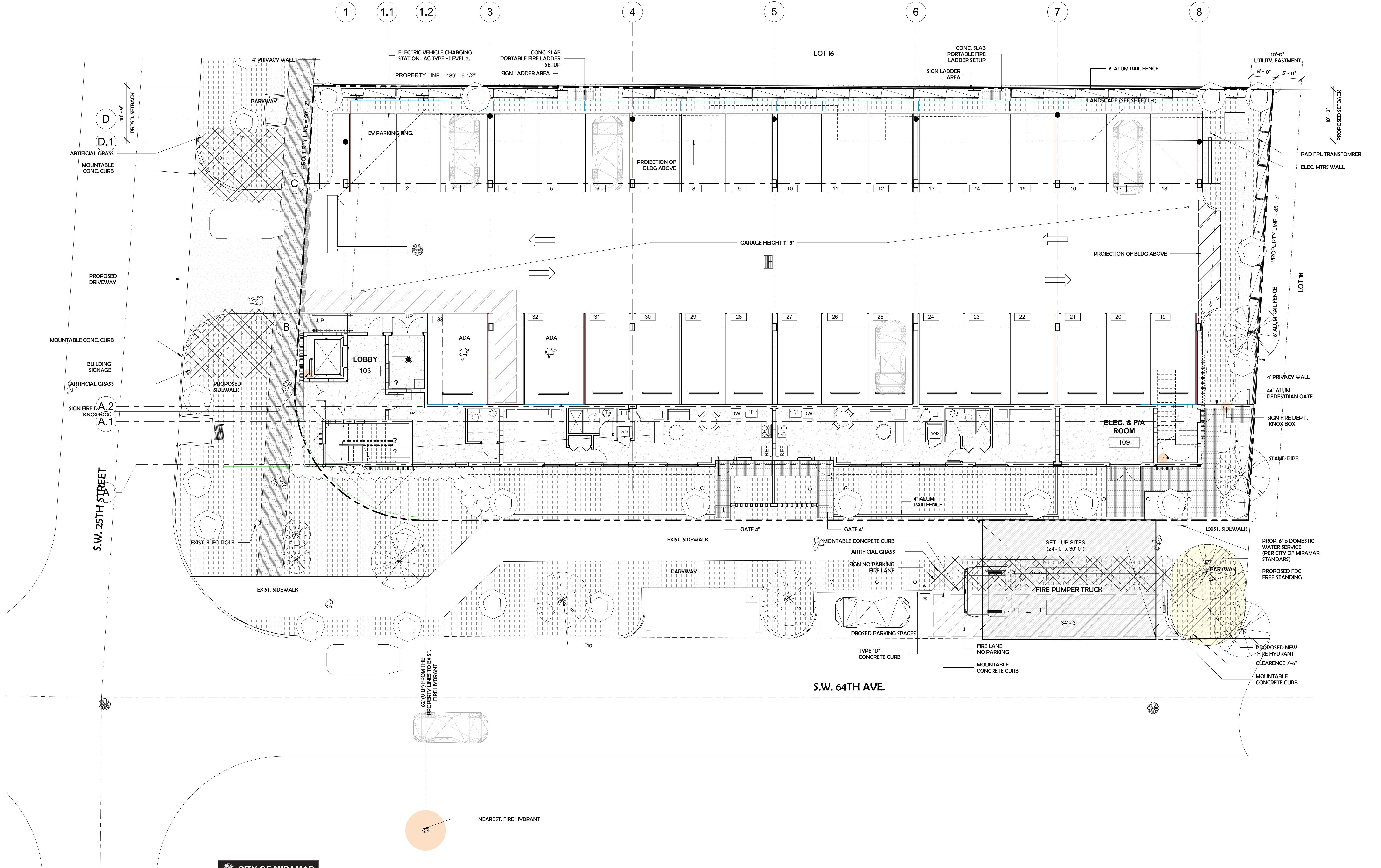
A1 SITE DEMOLITION PLAN

SCALE: Not Scale



NOTE: CONTRACTOR TO LOCATE ANY EXISTING DRAINAGE INLETS ADJACENT TO THE SITE AND PROVIDE INLET PROTECTION PER DETAIL #2, THIS SHEET

NOTE: ANY DAMAGES TO THE RIGHT-OF-WAY MUST BE REPAIRED BY THE CONTRACTOR.



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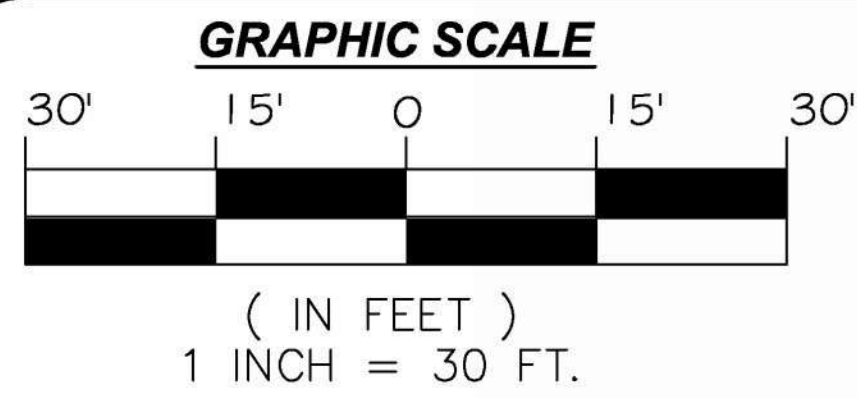
NEW RESIDENTIAL DEVELOPMENT - MIRAMAR 6340
 6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

SITE FIRE PROTECTION PLANS

Project #22-016

SFP-1





MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 25, TOWNSHIP 51 SOUTH, RANGE 41 EAST
LYING AND BEING IN BROWARD COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
8532 S.W. 8th STREET, SUITE "282"
MIAMI, FL 33144
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-REQUEST@LMSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	=DENOTES AIR CONDITIONING UNIT
B.B.	=DENOTES BASIS OF BEARINGS
ASPH.	=DENOTES ASPHALT
P	=DENOTES PROPERTY LINE
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
CONC.	=DENOTES CONCRETE
L.P.	=DENOTES LIGHT POLE
CB	=DENOTES CATCH BASIN
C	=DENOTES CENTERLINE
M	=DENOTES MONUMENT LINE
L.M.E.	=DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	=DENOTES DRAINAGE EASEMENT
D.H.	=DENOTES DRILL HOLE
(M)	=DENOTES MEASURE
(R)	=DENOTES RECORD
W.P.	=DENOTES WOOD POWER POLE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
PG.	=DENOTES PAGE
P.C.P.	=DENOTES PERMANENT CONTROL POINT
P.O.B.	=DENOTES POINT OF BEGINNING
TYP.	=DENOTES TYPICAL
M.H.W.	=DENOTES MEAN HIGH WATER LINE
— / —	=DENOTES WOOD FENCE
— x —	=DENOTES CHAIN LINK FENCE
— o —	=DENOTES IRON FENCE
o	=DENOTES FOUND IRON PIPE (NO ID.)
△	=DENOTES FOUND NAIL AND DISC
■	=DENOTES ASPHALT PAVEMENT
X.XX	=DENOTES ELEVATIONS
▒	=DENOTES BRICK
■	=DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION:

LOT 17, BLOCK 8, OF "MIAMI GARDENS ESTATES SECTION 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, AT PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 5141-25-04-0471

6340 S.W. 25TH STREET,
MIRAMAR, FLORIDA 33023

AREA OF PROPERTY: 16,049 SQUARE FEET AND/OR
0.368 ACRES MORE OR LESS.

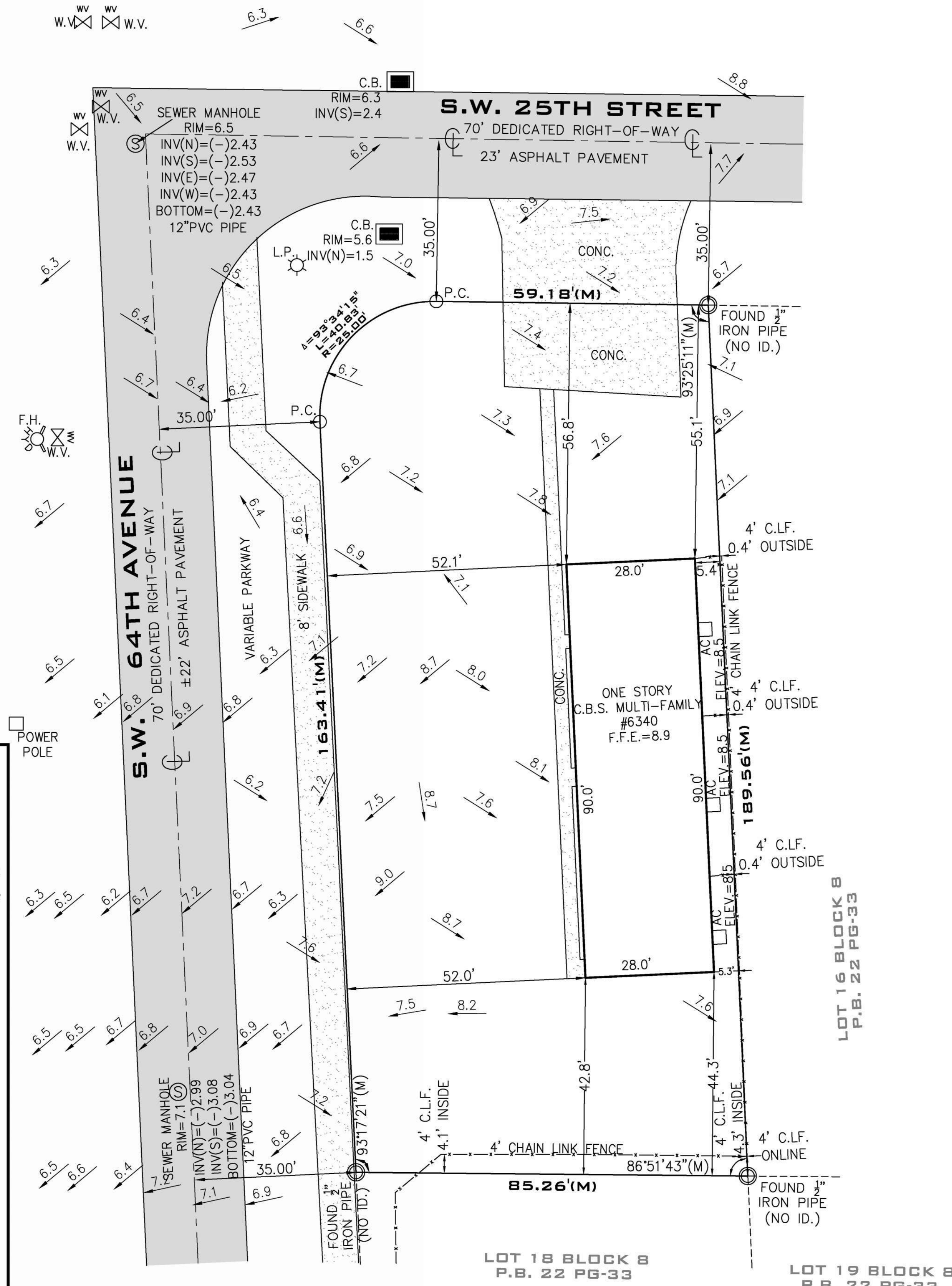
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

-BAKSH,ALLAUDDIN & BIBI N

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AN EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET, THE ACCURACY OBTAINED BY FIELD MEASUREMENT AND OFFICE CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. SURVEY FEET
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "MIAMI GARDENS ESTATES SECTION 2" RECORDED IN PLAT BOOK 22, AT PAGE 33.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET.



BENCH MARK USED:
DESIGNATION: FLGPS 70
PID: AD7904
ELEV (NAVD88): 32.94
DESCRIPTION: SURVEY DISK SET IN
RETAINING WALL OR CONCRETE LEDGE

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 32.02, FLORIDA STATUTE.

SIGNED: Arturo Mendigutia FOR THE FIRM
ARTURO MENDIGUTIA, P.E.S.M. STATE OF FLORIDA S.E.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	X
ELEVATION:	N/A
COMMUNITY:	120048
PANEL:	12011C0727
DATE OF FIRM:	07-31-2024
SUFFIX:	J
ORIGINAL FIELD WORK SURVEY DATE	12-12-2024
BENCH MARK:	N/A
ELEVATION:	N/A

DATE	DRAWN BY	SCALE
12-12-2024	J.FEE	1"=30'

REVISION / UPDATE OF SURVEY

DATE	DESCRIPTION
N/A	N/A

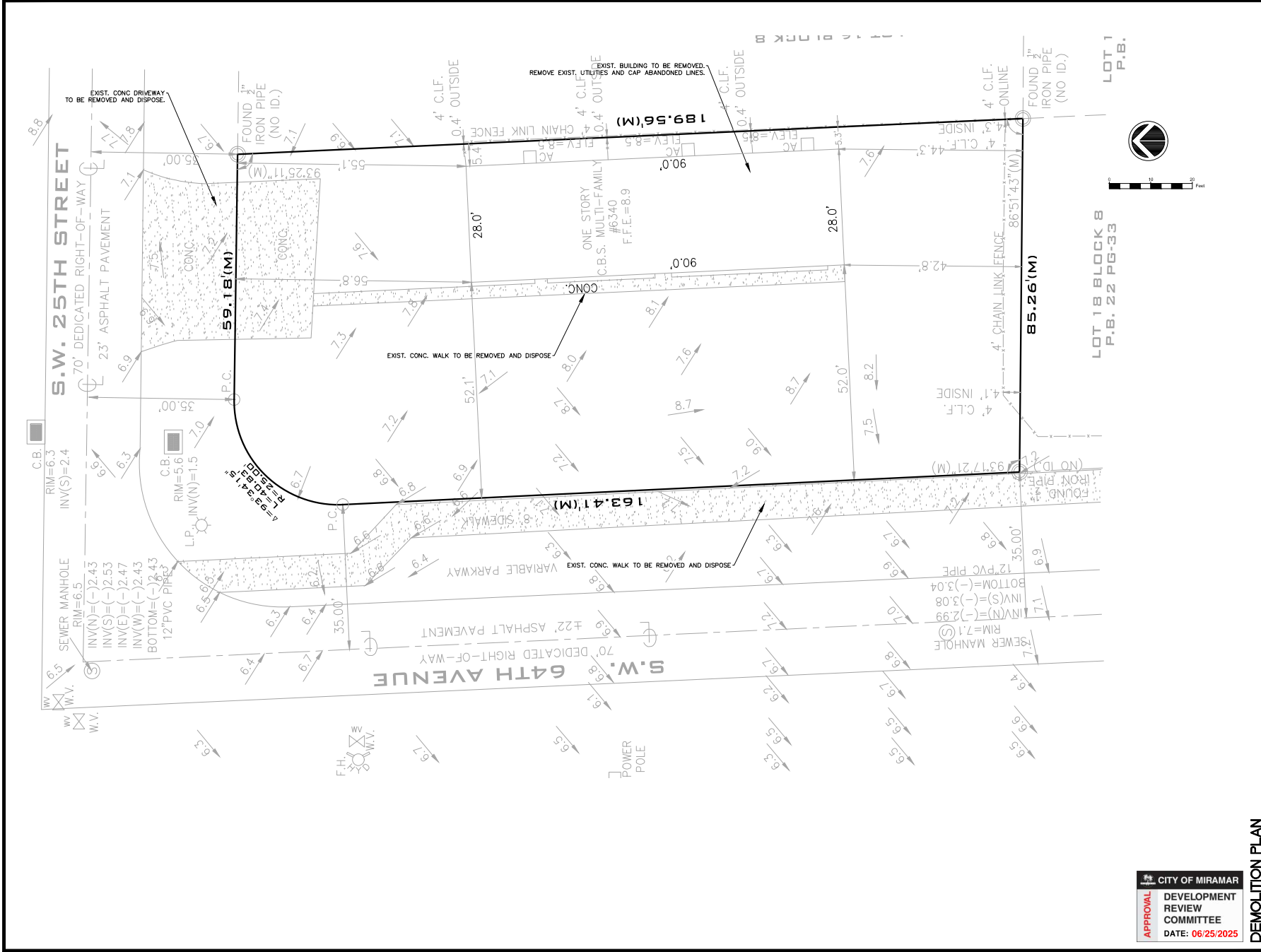
JOB No.
2412.0042



CITY OF MIRAMAR
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6340 SW 25TH ST Miramar Florida, Corner of 64 AVE. & SW 25TH ST.

SURVEY
Project #22-016
SU-1



REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		

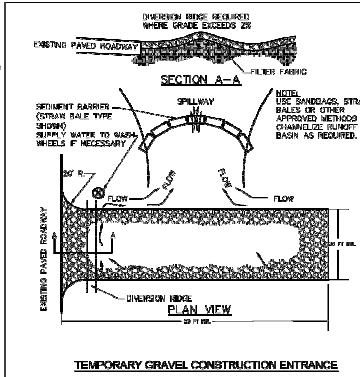
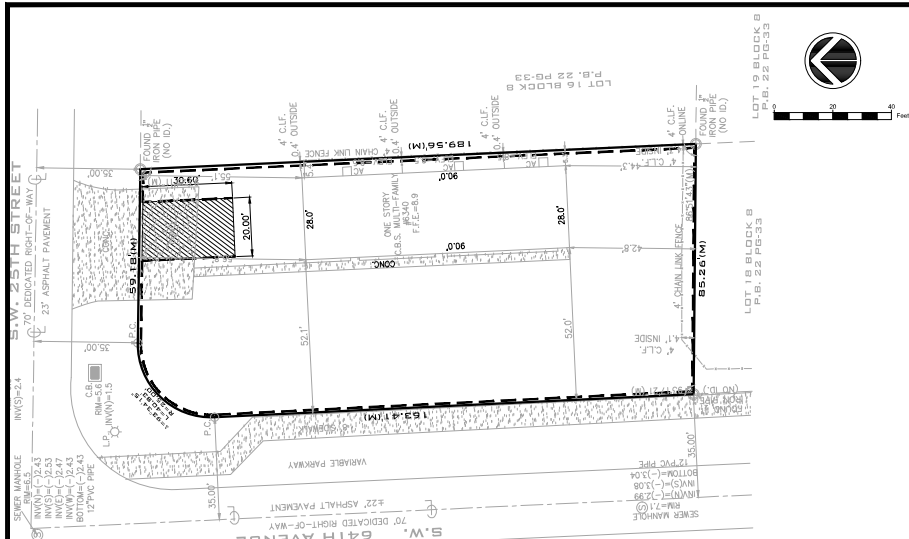
IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA
 Digitally signed
 by Imtiaz
 Ahmed
 Date: 2025.04.09
 21:17:05 -04'00'
 SEAL

RESIDENTIAL DEVELOPMENT
6340 SW 25th ST.
MIRAMAR, FLORIDA

ATLANTIC ENGINEERING SERVICES, INC.
 200 C2 CROSSWINDS DRIVE
 WEST PALM BEACH, FLORIDA 33413
 PHONE - (561) 866-9240
 FAX - (561) 866-9242
 CERTIFICATE OF AUTHORIZATION NO.: 8390

PROJ. NO. 0000
 SCALE: AS SHOWN
 APPROVAL
 CITY OF MIRAMAR
 DEVELOPMENT
 REVIEW
 COMMITTEE
 DATE: 06/25/2025
 DCL
 DWN. CHK.
 SHEET NUMBER
D1
 DATE DRAWN
 JUNE, 2023

DEMOLITION PLAN



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT EROSION OR FLOWING OF SEDIMENT ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Washing:
If conditions on the site are such that most of the mud to not removed by the vehicles traveling over the stone, then the vehicle tires shall be washed before entering a public road. Wash water must be carried away from the entrance to a settling area to remove sediment (See Figure 4.36 of the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual). A wash rack may also be used to make washing more convenient and effective (See Figure 4.35 of the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual).

Location:
The entrance should be located to provide for maximum utility by all construction vehicles.

Construction Site Functions:
The entrance area should be cleared of all vegetation, roots, and other objectionable material. A geotextile should be laid down to improve stability and simplify maintenance when gravel is used. The gravel shall then be placed over the geotextile to the specified dimensions.

Maintenance:
The constructed construction exit shall be maintained in a condition that will prevent the tracking or flow of mud onto public rights of way. This may require periodic maintenance as conditions demand and the result may be cleanup of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately. Look for signs of tracks and trailers equipment "cutting corners" where the construction exit meets the roadway. Sweep the paved road as needed.

NEED FENCE:

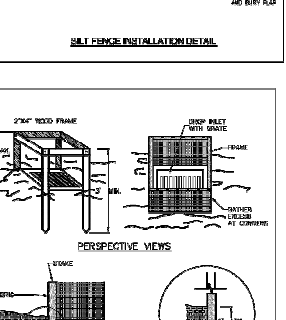
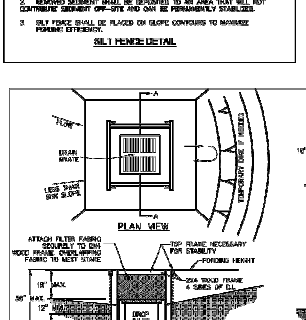
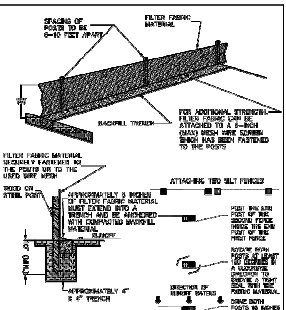
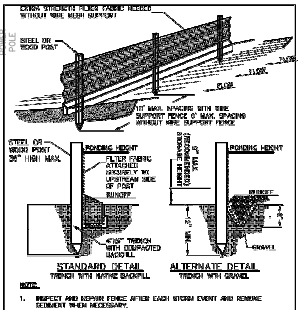
Construction Specifications:

Materials:

1. Synthetic filter fabric shall be a pervious sheet of polypropylene, nylon, polyester, or polyethylene mesh. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 5 months of expected service under normal use at a temperature range of 0 to 100°F (-17°C to 40°C).
2. Barbed wire shall be 10 ounces per square yard (300 g/m²) fabric.
3. Posts for all fences shall be either 4 inch (10 cm) diameter wood, or 1.25 pounds per linear foot (21 kg/m) steel with a maximum length of 8 feet (2.4 m). Wood posts shall have preservative for finishing site to them.
4. Staples for filter fabrics shall be 1" x 2" (25.4 x 5.1 cm) steel (galvanized), or equivalent metal with a minimum length of 3 feet (90 cm).
5. Wire fence reinforcement for site fences using standard strength wire cloth shall be a minimum of 26 inches (66 cm) in height, a minimum of 14 gauge steel and have a maximum mesh opening of 6 inches (15 cm).

Sheet Pile Application:

200 Fences This section shall cover standard strength or extra strength synthetic filter fabrics. It is designed for application to both any depth of standard flow rate application. (See Plate 4.00a)



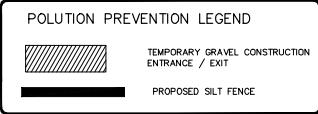
INSTALLATION:

1. PERFECT AND REMOVE FENCES AFTER EACH WORKING EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVAL SYSTEMS SHALL BE RELOCATED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND ONLY BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SOFT COMPACTED TO MANURE FERTILIZER SEDIMENT.

1. The height of a silt fence shall not exceed 36 inches (90 cm). Higher fences may trapped volumes of water sufficient to cause failure of the structure. The filter fabric shall be supported in a continuous roll out to the length of the fence to avoid the use of joints. When joints are necessary, filter cloth shall be tapered as described in Item No. 8 below.
2. Posts shall be spaced a maximum of 10 feet (3 m) apart at the corner location and driven vertically into the ground a minimum of 12 inches (30 cm). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet (1.8 m).
3. A trench shall be excavated approximately 4 inches (10 cm) wide and 4 inches (10 cm) deep along the line of posts and upstate from the fence.
4. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upstate side of the posts using heavy duty wire staples at a minimum of 1 foot (30 cm) long, six inches, or less apart. This wire mesh support fence shall be a minimum of 2 inches (5 cm) and shall not extend more than 26 inches (66 cm) above the original ground surface.
5. The standard strength filter fabric shall be attached or wired to the fence, and 8 inches (20 cm) of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches (90 cm) above the original ground surface.
6. When extra strength filter fabric and clear post spacings are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is attached or wired directly to the posts with all other provisions of Item No. 8 applies.
7. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Double fabric posts at least 140 inches on an alternative distance to create a tight seal with the filter fabric. Join both posts with the ground and bury the line. (See Plate 4.00a)
8. The trench shall be backfilled and the soil compacted over the filter fabric.
9. The most effective application consists of a double row of silt fences spaced a minimum of three feet apart. The three foot separation is so that if the first row collapses it will not fail on the second row. Sand or synthetic mesh it may be used to replace the first row. (See Plate 4.00a)
10. When used to control sediment from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity. (See Plate 4.00a)
11. Silt fences shall be removed when they have served their useful purpose, but not before the upstate area has been permanently stabilized.

Maintenance:

1. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged periods. Any required repairs shall be made immediately.
2. Should any fabric on a silt fence or filter barrier demonstrate or become ineffective before the end of the specified useful life and the barrier will be necessary, the fabric shall be replaced promptly.
3. Sediment deposits should be removed after each storm event. They shall be removed when deposits reach approximately one-half the height of the barrier.



IMPACT NOTICES:

1. CONSTRUCTION IS TO SUBMIT THE NOTICE OF INTENT (NOI) APPLICATION PROVIDED ON THE DEP WEB SITE ALONG WITH THE APPLICATION FEE OF \$250.00 FOR SMALL CONSTRUCTION PROJECTS (LESS THAN 5 ACRES) OR \$400.00 FOR LARGE CONSTRUCTION PROJECTS (5 OR MORE ACRES) TO THE NOTICE CENTER. AUTHORIZATION IS GRANTED 48 HOURS AFTER THE DATE OF THE COMPLETE NOI APPLICATION IS FORWARDED TO DEP. THE NOTICE CENTER WILL SEND AN ACKNOWLEDGMENT LETTER AFTER RECEIVING AND PROCESSING YOUR COMPLETE NOI APPLICATION AND FEE.
2. RESUBMIT NOI PACKAGE EVERY FIVE YEARS (IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS).
3. THE APPLICATION FEE IS SUBJECT TO CHANGE. ALWAYS CONFIRM THE AMOUNT BY CALLING THE NOTICE CENTER AT (888) 546-7252.
4. THE ADDRESS FOR IMPACT STATEMENT NOTICE CENTER IS: FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 3300 BLAKE BYWAY ROAD, SUITE 2100, TALLAHASSEE, FL 32308-2100
5. THE MAILING ADDRESS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT IS: P.O. BOX 24800, WEST PALM BEACH, FL 33416-4800

CITY OF MIRAMAR

DEVELOPMENT REVIEW COMMITTEE

DATE: 06/25/2025

REV.	DESCRIPTION	DATE
1		
2		
3		
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

Digitally signed by Imtiaz Ahmed
Date: 2025.04.06 21:17:22 -04'00'

SEAL

RESIDENTIAL DEVELOPMENT

6340 SW 25th ST.

MIFAMAR, FLORIDA

ATLANTIC ENGINEERING SERVICES, INC.

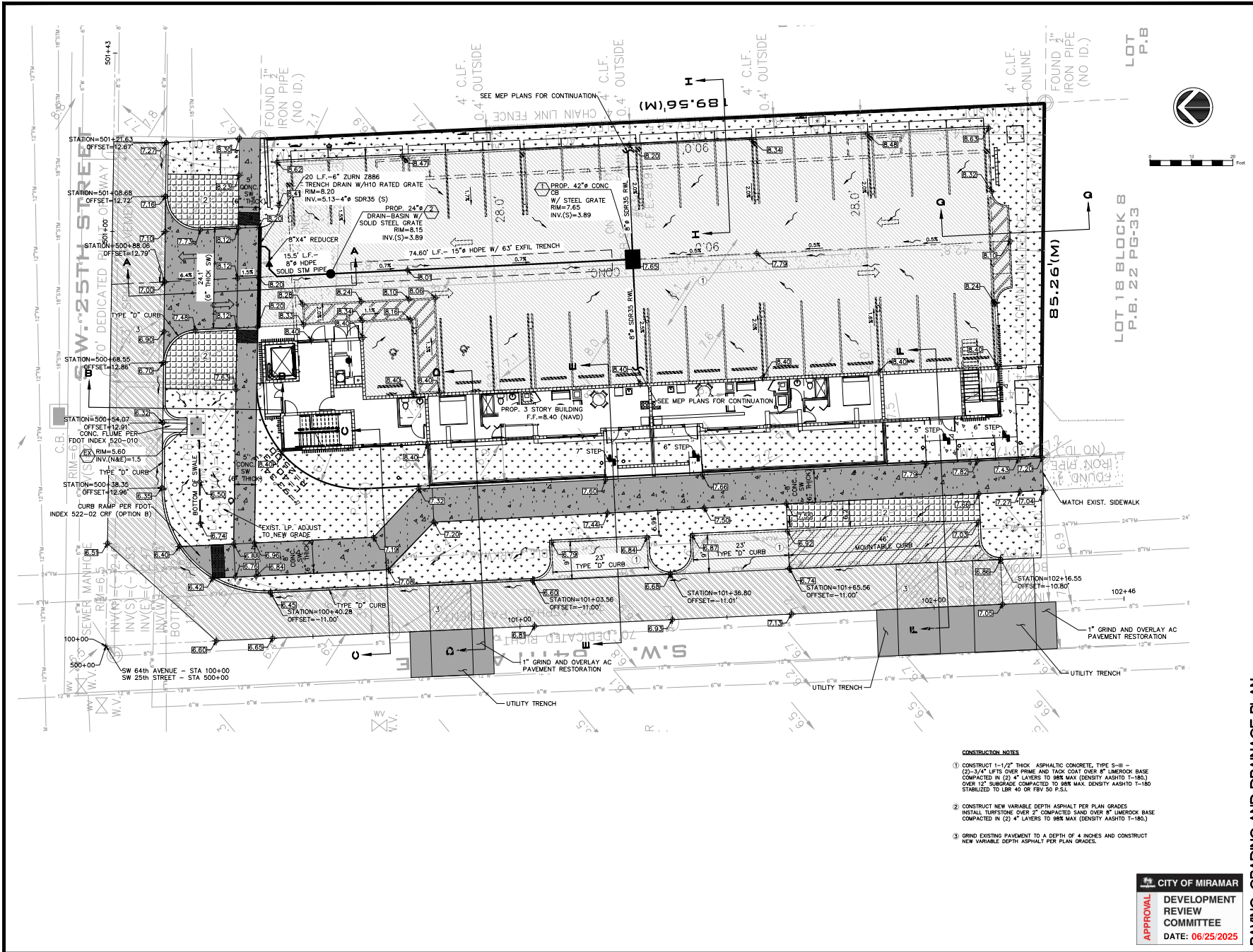
200 C2 CROSSINGS DRIVE
WEST PALM BEACH, FLORIDA 33413
TEL - (561) 866-9240
FAX - (561) 866-9242
CERTIFICATE OF AUTHORIZATION NO.: 8390

PROJ. NO. 0000
SCALE: AS SHOWN

DCL
DES. DWN. CHK.
SHEET NUMBER

DATE DRAWN
JUNE, 2023

POLLUTION PREVENTION PLAN



- CONSTRUCTION NOTES**
- CONSTRUCT 1-1/2" THICK ASPHALTIC CONCRETE, TYPE S-III - (2)-3/4" LFS OVER PRIME AND TACK COAT OVER 8" LIME/ROCK BASE COMPACTED IN (2) 4" LAYERS TO 98% MAX (DENSITY AASHTO T-180) OVER 12" SUBGRADE COMPACTED TO 98% MAX. DENSITY AASHTO T-180 STABILIZED TO LBR 40 OR FBV 50 P.S.I.
 - CONSTRUCT NEW VARIABLE DEPTH ASPHALT PER PLAN GRADES. INSTALL TURFSTONE OVER 2" COMPACTED SAND OVER 8" LIME/ROCK BASE COMPACTED IN (2) 4" LAYERS TO 98% MAX (DENSITY AASHTO T-180).
 - GRIND EXISTING PAVEMENT TO A DEPTH OF 4 INCHES AND CONSTRUCT NEW VARIABLE DEPTH ASPHALT PER PLAN GRADES.

CITY OF MIRAMAR
 APPROVAL
 DEVELOPMENT REVIEW COMMITTEE
 DATE: 06/25/2025

REV.	DESCRIPTION	DATE
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IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA
 Digitally signed by Imtiaz Ahmed
 Date: 2025.04.06 21:17:34-04'00'

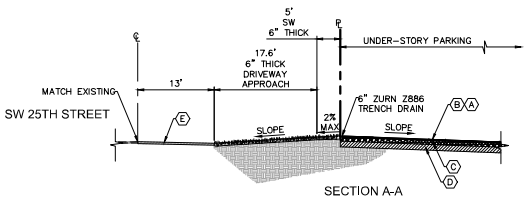
RESIDENTIAL DEVELOPMENT
 6340 SW 25th ST.
 MIRAMAR, FLORIDA

ATLANTIC ENGINEERING SERVICES, INC.
 200 C2 CROSSWINDS DRIVE
 WEST PALM BEACH, FLORIDA 33413
 PHONE - (561) 986-9240
 FAX - (561) 986-9242
 CERTIFICATE OF AUTHORIZATION NO.: 8390

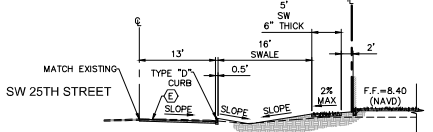
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 JUNE, 2023

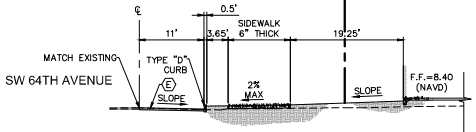
PAVING, GRADING AND DRAINAGE PLAN



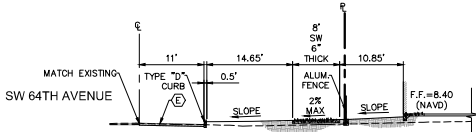
SECTION A-A



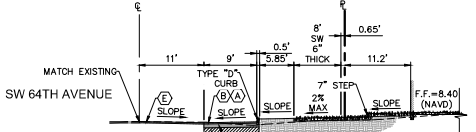
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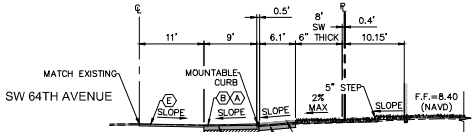
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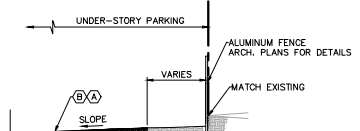
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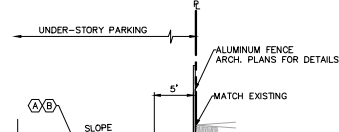
SECTION E-E



SECTION F-F



SECTION G-G



SECTION H-H

PAVING SPECIFICATIONS

- (A) 1-1/2" THICK ASPHALTIC CONCRETE, TYPE 5-II - 2-3/4" LIFTS
- (B) PRIME AND TACK COAT
- (C) 8" LIMELOCK BASE COMPACTED IN (2) 4" LAYERS TO 98% MAX (DENSITY AASHTO 1-18.)
- (D) 12" SUBGRADE COMPACTED TO 98% MAX. DENSITY AASHTO 1-180 STABILIZED TO LBR 40 OR FBV 50 P.S.I.
- (E) GRIND EXISTING PAVEMENT TO A DEPTH OF 4 INCHES AND CONSTRUCT NEW VARIABLE DEPTH ASPHALT PER PLAN GRADES
- (F) INSTALL TURFSTONE OVER 2" COMPACTED SAND

ON-SITE PAVING AND DRAINAGE SPECIFICATIONS:

1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 5 FEET OF ANY EDGE OF PAVEMENT. ANY SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL WHICH SHALL BE PLACED AND IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT FOR THE SITE.
2. STABILIZED SUBGRADE SHALL HAVE A LIMELOCK BEARING RATIO (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO 1-180.
3. LIMELOCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 311 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM PERCENTAGE OF COMBINATION OF CALCIUM AND MAGNESIUM SHALL BE THE LIQUID LIMIT 35 PLASTICITY 6, MIN LBR 100 OR ACCEPTABLE FDOT PRODUCT APPROVAL.
4. ASPHALTIC CONCRETE TYPE 5-3 SHALL CONFORM TO THE REQUIREMENTS OF SECTION 331 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
5. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-3 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD AND TACK COAT AT A RATE OF 0.08 GALLONS PER SQUARE YARD UNLESS A VARIATION RATE IS APPROVED BY THE ENGINEER.
6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS EXCEPT DRAINAGE STRUCTURES.
7. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATIONS C-478 AND 641.
8. CONCRETE FOR PRECAST MANHOLES AND CATCH BASINS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
9. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION. GRADE 60 STEEL SHALL BE USED.
10. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR.
11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
12. ALL SPACES AROUND PIPING EXTERIOR OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 WATERPROOF, NON-SHRINKING CEMENT.
13. REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-76, FOR CLASS III WALL THICKNESS "B" REINFORCED CONCRETE PIPE, AND AS MODIFIED IN SECTION 941 OF FLORIDA D.O.T. STANDARD.
14. CORRUGATED METAL PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
15. PVC DRAINAGE PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
16. HOPE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
17. ALL LABOR, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY CITY OF MIRAMAR PUBLIC WORKS AND THE PLANS AND CONSTRUCTION SPECIFICATIONS. WHERE CONFLICTS OR OMISSIONS EXIST, THE CITY OF MIRAMAR PUBLIC WORKS STANDARDS SHALL DICATE. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
18. THE EXISTING ELEVATIONS SHOWN ON THE GRADING PLAN INDICATES THE ELEVATION AT THE POINT INDICED ONLY, AND SHOULD NOT BE INTERPRETED AS INDICATING THE ELEVATIONS OF ANY OTHER POINT. THESE EXISTING ELEVATIONS ARE IN NO WAY AN INDICATOR OF SURFACE OR SUBSURFACE SOIL CONDITIONS.
19. BITUMINOUS COATING REQUIRED FOR ALL CORRUGATED METAL PIPE (CMP).

NOTE:

1. STORM WATER FROM ROOF SHALL DISCHARGE TO FINISHED SURFACE AND SHALL BE STORED IN SWALES OR SHEET FLOW TO CATCH BASINS.
2. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE HIGHEST POINT OF ADJACENT ROAD CROWN ELEVATION OR 1' ABOVE THE BASE FLOOD ELEVATION, WHICHEVER IS HIGHER.
3. ELEVATIONS SHOWN ARE IN NAVD88.
4. ENGINEER OF RECORD SHALL PERFORM FULL THE INSPECTION DURING INSTALLATION OF HOPE DRAINAGE PIPE AND PROVIDE INSPECTION REPORTS AND CERTIFICATION OF PROPER INSTALLATION TO THE CITY.

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IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA
 Digitally signed
 by Imtiaz
 Ahmed
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 2025.04.06
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SEAL

RESIDENTIAL DEVELOPMENT
 6340 SW 25th ST.
 MIRAMAR, FLORIDA

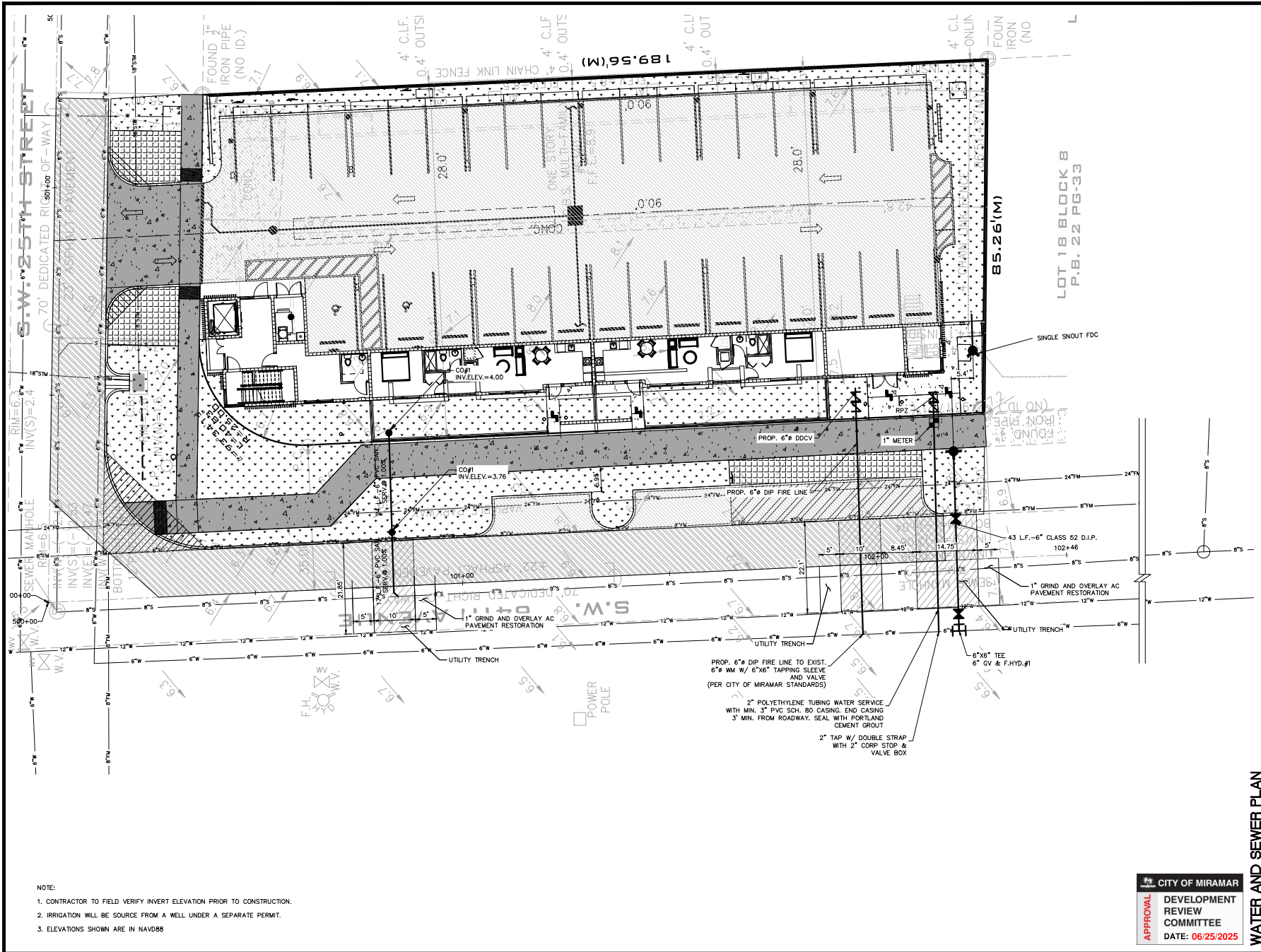
ATLANTIC ENGINEERING SERVICES, INC.
 200 C2 CROSSWINDS DRIVE
 WEST PALM BEACH, FLORIDA 33413
 PHONE - (561) 866-9240
 FAX - (561) 866-9242
 CERTIFICATE OF AUTHORIZATION NO.: 8390

PROJ. NO. 0000
 SCALE: AS SHOWN

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SHEET NUMBER	
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DATE DRAWN	
JUNE, 2023	

CITY OF MIRAMAR
 APPROVAL
 DEVELOPMENT
 REVIEW
 COMMITTEE
 DATE: 06/25/2025

PAVING, GRADING AND DRAINAGE PLAN



- NOTE:
- CONTRACTOR TO FIELD VERIFY INVERT ELEVATION PRIOR TO CONSTRUCTION.
 - IRRIGATION WILL BE SOURCE FROM A WELL UNDER A SEPARATE PERMIT.
 - ELEVATIONS SHOWN ARE IN NAVD88

CITY OF MIRAMAR
APPROVAL DEVELOPMENT REVIEW COMMITTEE
 DATE: 06/25/2025

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IMTIAZ AHMED, P.E.
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6340 SW 25th ST.
MIRAMAR, FLORIDA

ATLANTIC ENGINEERING SERVICES, INC.
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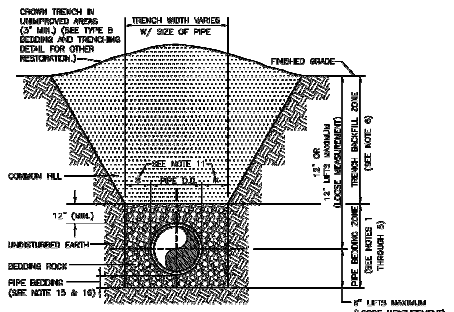
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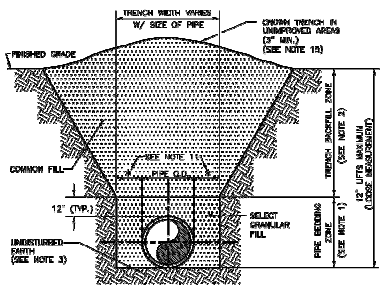
DATE DRAWN
 JUNE, 2023

WATER AND SEWER PLAN



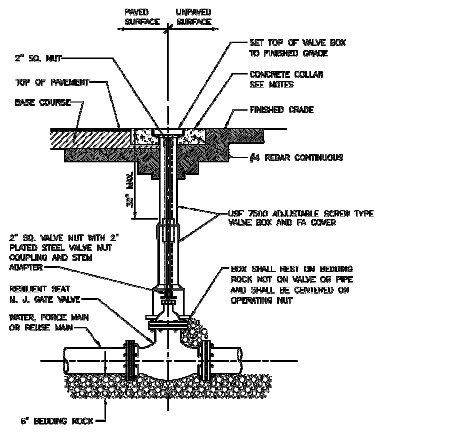
- NOTES:**
- PIPE BEDDING: SELECT BEDDING ROCK WANTED IN PLACE.
 - COMMON AND SANDY PIPE BED TO EXACTLY SUPPORT PIPE AT THE PROPER LINE AND GRADE, WITH FULL CONTACT UNDER THE BOTTOM OF THE PIPE.
 - INSTALL PIPE AND SYSTEM COMPONENTS.
 - PLACE BEDDING SIMULTANEOUSLY ON BOTH SIDES OF THE PIPE. CORRECT ANY PIPE DISPLACEMENTS BEFORE PROCEEDING.
 - IN THE PIPE BEDDING ZONE, PLACE BEDDING IN LIFTS NOT GREATER THAN 12" MINIMUM ABOVE THE TOP OF THE PIPE.
 - IN THE TRENCH BACKFILL ZONE, PLACE COMMON FILL IN LIFTS NOT GREATER THAN 12" THICKNESS AND COMPACT TO 95% OF MAXIMUM DENSITY PER ASTM D 1557 TO THE BOTTOM OF THE SUBGRADE OR THE TOP OF TRENCH IN UNIMPROVED AREAS.
 - USE TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY OF MIAMI.
 - IF REQUIRED BY THE CONTRACT DOCUMENTS OR IF APPROVED BY THE CITY OR ITS REPRESENTATIVE, FLOWABLE MORTAR OR CONTROLLED LOW STRENGTH MATERIAL MAY BE USED IN LIEU OF OTHER BEDDING MATERIAL TYPES.
 - SECURE PIPE AGAINST DISPLACEMENT OR FLUTATION BEFORE PLACING FLOWABLE MORTAR OR CONCRETE ENCASUREMENT.
 - CONCRETE ENCASUREMENT INSTALL WHERE SHOWN IN THE PLANS.
 - (1) 12" MINIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MINIMUM FOR PIPE DIAMETER 24" AND LARGER.
 - 12 METERS SHALL NOT BE PORTAGED IN THE TRENCH DURING CONSTRUCTION, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL PIPE TO BE INSTALLED WITH BELL ENDING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - INVERT TO SECTION 21.11-1 OF THE MANUAL FOR SLOPING AND BRACING IN CONDUITS.
 - INVERTY SERVICES SHALL UTILIZE TYPE A BEDDING. BEDDING DEPTH SHALL BE 4" MINIMUM PER PIPE DIAMETER LESS THAN 12" AND 6" MINIMUM PER PIPE DIAMETER 12" AND LARGER.
 - DEPTH FOR BEDDING OF INSULATED MATERIAL SHALL GROWEN DEPTH OF BEDDING ROCK BELOW THE PIPE. CITY OF MIAMI SHALL DETERMINE IN THE FIELD REQUIRED REGIONAL OR UNDESIRABLE MATERIAL TO WHICH SUITABLE FOUNDATION.
 - UNDESIRABLE MATERIAL INCLUDES ORGANIC MATERIAL, BEDROCK, LIMESTONE FILL, Boulders, ETC.

TYPE A BEDDING AND TRENCHING DETAIL



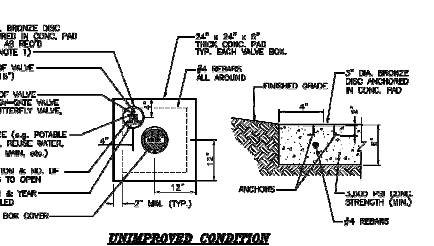
- NOTES:**
- PIPE BEDDING: SELECT GRANULAR FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D 1557 TO 150 TO 180.
 - TRENCH BACKFILL COMMON FILL IN 12" MAX. LIFTS COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D 1557.
 - PIPE BEDDING (TRENCH SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE 'A' BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY OF MIAMI).
 - COMMON AND SANDY PIPE BED TO EXACTLY SUPPORT PIPE AT THE PROPER LINE AND GRADE, WITH FULL CONTACT UNDER THE BOTTOM OF THE PIPE.
 - INSTALL PIPE AND SYSTEM COMPONENTS.
 - PLACE BEDDING SIMULTANEOUSLY ON BOTH SIDES OF THE PIPE. CORRECT ANY PIPE DISPLACEMENTS BEFORE PROCEEDING.
 - IN THE TRENCH BACKFILL ZONE, PLACE BEDDING IN LIFTS NOT GREATER THAN 12" THICKNESS AND COMPACT TO 95% OF MAXIMUM DENSITY PER ASTM D 1557 TO 180 TO THE BOTTOM OF THE SUBGRADE OR THE TOP OF TRENCH IN UNIMPROVED AREAS.
 - IF REQUIRED BY THE CONTRACT DOCUMENTS OR IF APPROVED BY THE CITY OR ITS REPRESENTATIVE, FLOWABLE MORTAR OR CONTROLLED LOW STRENGTH MATERIAL MAY BE USED IN LIEU OF OTHER BEDDING MATERIAL TYPES.
 - SECURE PIPE AGAINST DISPLACEMENT OR FLUTATION BEFORE PLACING FLOWABLE MORTAR OR CONCRETE ENCASUREMENT.
 - CONCRETE ENCASUREMENT SHALL BEHIND SHOWN IN THE PLANS.
 - (1) 12" MINIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MINIMUM FOR PIPE DIAMETER 24" AND LARGER.
 - 12 METERS SHALL NOT BE PORTAGED IN THE TRENCH DURING CONSTRUCTION, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL PIPE TO BE INSTALLED WITH BELL ENDING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - INVERT TO SECTION 21.11-1 OF THE MANUAL FOR SLOPING AND BRACING IN CONDUITS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH THE CITY OF MIAMI. SURFACE RESTORATION WITHIN CITY OR COUNTY RIGHT-OF-WAY SHALL COMPLY WITH THE APPLICABLE REGULATIONS.

TYPE B BEDDING AND TRENCHING DETAIL

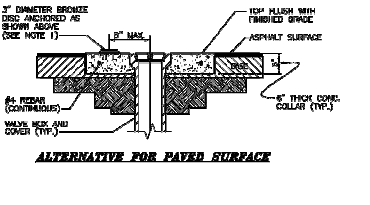


- NOTES:**
- VALVE COLLAR SHALL BE 24"x24"x10" (MIN.) CONCRETE COLLAR PER CITY'S STANDARD DETAIL.
 - WHEN WATER VALVE IS NOT LOCATED IN PAVEMENT, PLACE A WHITE PAVEMENT REFLECTOR MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE.
 - VALVE BOX COVER SHALL BE PAINTED BLUE WITH THE DESIGNATION "WATER" GREEN WITH THE DESIGNATION "SEWER" PURPLE WITH THE DESIGNATION "SEWER".

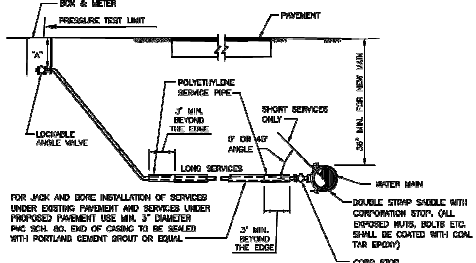
GATE VALVE AND VALVE BOX DETAIL



VALVE BOX CONCRETE COLLAR DETAIL

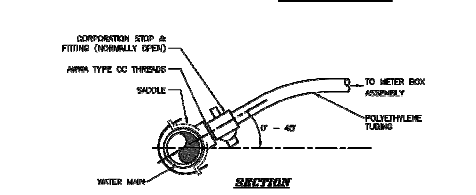
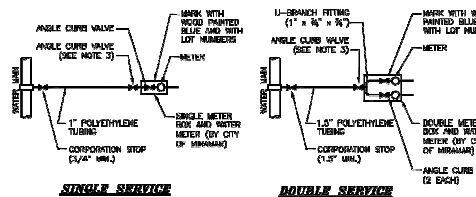


WATER SERVICE CONNECTION DETAILS



- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 10' APART. TAPS SPACED BETWEEN 18" TO 48" SHALL BE OFFSET TO EACH SIDE OF THE MAIN.
 - METER RISE SHALL BE SET TO CONFORM TO FINISHED GRADE ADJACENT TO PROPERTY LINE. METER SHALL NOT BE PLACED IN SLOPE OR DRAINAGE AREAS. SERVICE LINES SHALL NOT BE PLACED UNDER DRAINAGES.
 - ALL 3/4" & 1" METERS REQUIRE A LOCKABLE ANGLE CURB VALVE (ANGLE BALL VALVE 3/4" VALVE FOR 3/4" METER, 1" VALVE FOR 1" METER AND 1 1/2" VALVE FOR 1 1/2" METERS, VOICE AND INTERNAL CHECK VALVE).
 - A BALL CHECK VALVE OR OTHER BACKFLOW PREVENTION DEVICE REQUIRED ON ALL SERVICES BEHIND METERS.
 - MAXIMUM SERVICE LENGTH IS 100' TO METER.
 - BEDDING (MIN. 4") AND COVER (MIN. 4") OVER SERVICE LINE OR CASING SHALL CONSIST OF THE GRANULAR MATERIAL UNDESIRABLE IN-SITU MATERIALS SUCH AS MUDS, DEBRIS AND LARGER ROCKS SHALL BE REMOVED WITH 3/4" MAXIMUM SIZE.
 - USE MIN. 3" DIAMETER PVC SCH. 80 CASING FOR ALL LONG SERVICES UNDER EXISTING OR PROPOSED ROADWAY. END OF CASING TO EXTEND MIN. 3 FEET FROM EDGE OF PAVEMENT AND IS TO BE SEALED WITH GEMBIT.

TYPICAL SERVICE CONNECTION FOR 3/4\"/>



- NOTES:**
- ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 - EACH SERVICE SHALL TERMINATE AT AN ANGLE CURB VALVE, FORD METER BOX (M43-341W-RL 1.07X1" FOR DOUBLE SERVICE AND 17X1" FOR SINGLE SERVICE OR APPROVED EQUAL.
 - INSTALL MIN. 3" DIA. PVC SCH. 80 CASING FOR ALL LONG SERVICES UNDER EXISTING OR PROPOSED ROADWAY. END OF CASING TO EXTEND MINIMUM 3'-FEET FROM EDGE OF PAVEMENT AND IS TO BE SEALED WITH PORTLAND CEMENT GROUT, OR APPROVED EQUAL.
 - METER BOX SHALL BE SUPPLIED BY THE CITY.

CITY OF MIAMI
 DEVELOPMENT REVIEW COMMITTEE
 DATE: 06/25/2025

REV.	DESCRIPTION	DATE
1		
2		
3		
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5		

IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA

Digitally signed by Imtiaz Ahmed
 Date: 2025.04.06
 21:18:12-0400
 SEAL

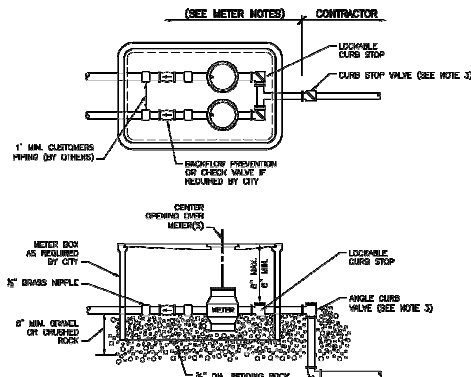
RESIDENTIAL DEVELOPMENT
 6340 SW 25th ST.
 MIAMI, FLORIDA

ATLANTIC ENGINEERING SERVICES, INC.
 200 C2 CROSSINGS DRIVE
 WEST PALM BEACH, FLORIDA 33413
 PHONE - (561) 866-9240
 FAX - (561) 866-9242
 CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO. 0000
 SCALE: AS SHOWN

DCL	CHK.
DES.	DWN.
SHEET NUMBER	
WS2	
DATE DRAWN JUNE, 2023	

WATER AND SEWER DETAILS



NOTES:

1. METER OVER 2\"/>

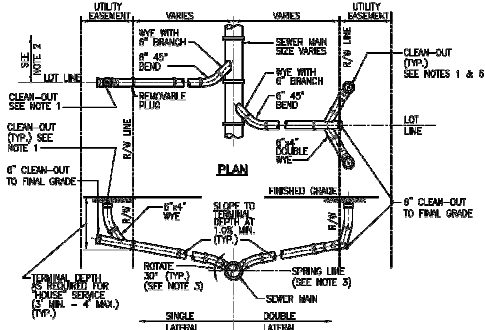
METER BOX DETAIL U.S. FOUNDRY NO. 7630

METER NOTES: Contractor/Developer shall be responsible for ordering and purchasing water meter, boxes and other related appurtenances for a complete water meter assembly from City's approved vendor: HD Supply Waterworks
 Attn: James Watts
 Phone: 954-772-7343

Meters shall be "Sensus" model and must be shipped to:
 City of Miramar Utilities Department
 Attn: Harry Morgan
 13900 Pembroke RD, Miramar, FL 33027

*Note: Please reference name of development on the shipping order.

When contractor/developer is ready to install the meter(s), they must setup water meter accounts at City's Utility Billing at which point the already assembled water meter system will be released by the Utility department at no charge to the contractor for installation.

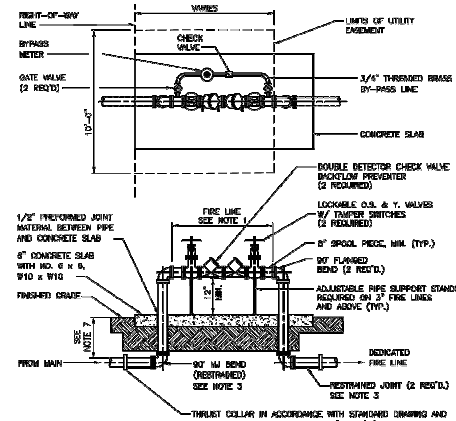


PROFILE

NOTES:

1. CLEAN-OUT SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25\"/>

SANITARY SERVICE DETAIL



NOTES:

1. ALL PIPE AND FITTINGS 2\"/>

FIRE LINE-DOUBLE DETECTOR CHECK VALVE ASSEMBLY DETAIL

REV.	DESCRIPTION	DATE
1		
2		
3		
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5		
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7		
8		
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10		

IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA
 Digitally signed by Imtiaz Ahmed
 Date: 2025.04.06 21:18:22 -0400
 SEAL

RESIDENTIAL DEVELOPMENT
6340 SW 25th ST.
MIRAMAR, FLORIDA

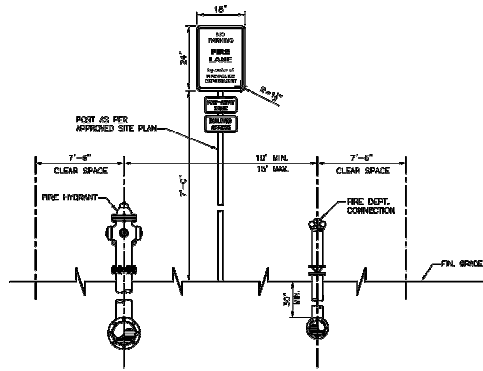
ATLANTIC ENGINEERING SERVICES, INC.
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 PHONE - (561) 866-9240
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PROJ. NO. 0000
 SCALE: AS SHOWN

CITY OF MIRAMAR
 APPROVAL
 DEVELOPMENT REVIEW COMMITTEE
 DATE: 06/25/2025

DCL
 DES. DWN. CHK.
 SHEET NUMBER
WS3
 DATE DRAWN
 JUNE, 2023

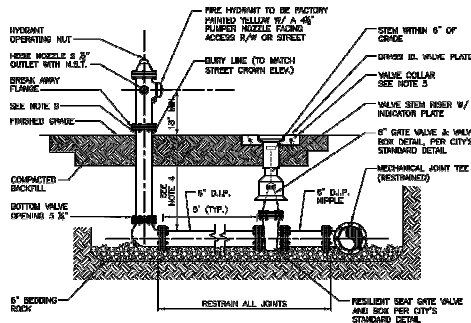
WATER AND SEWER DETAILS



NOTES:

- FIRE LANE SIGN:**
1. SIGNS SHALL HAVE A WHITE REFLECTORIZED BACKGROUND WITH RED ORANGE LETTERS AND BORDER.
 - "FIRE LANE" LETTERS SHALL BE 18" AND ALL OTHER LETTERS SHALL BE 1" SERIES "C".
 - SIGNS SHALL BE MOUNTED ON POLE AT LOCATIONS IDENTIFIED ON SITE PLAN AT A MAXIMUM HEIGHT OF 7'-0" FROM THE FINISHED GRADE TO THE BOTTOM PART OF THE SIGN.
- TWO-WAY TRAFFIC SIGN AND BUILDING ADDRESS SIGN:**
- SIGNS SHALL BE A MINIMUM OF 6"x12" WHITE BACKGROUND WITH RED LETTERS MINIMUM LETTER SIZE TO BE ONE INCH.

FIRE HYDRANT-FIRE DEPT. CONNECTION LOCATION DETAIL



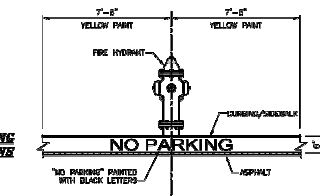
- PIPE SHALL BE DUCTILE IRON CLASS 200 D.I.P. SPOOL PIECES TO BE CLASS 200.
- ALL FITTINGS AND FITTINGS SHALL BE RESTRAINED MECHANICAL JOINT, MECHANICAL OR MECHANICAL RESTRAINED.
- HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO WATER MAIN AS POSSIBLE.
- DEPTH OF COVER TO TOP OF UNDERGROUND PIPING, 30" MINIMUM TYPICAL, 36" MINIMUM UNDER DRIVING SURFACES.
- VALVE COLLAR SHALL BE CONCRETE COLLAR BY 1'-0" DIA. (D.I.P.) PER CITY STANDARD DETAIL.
- NO HYDRANT SHALL BE LOCATED CLOSER THAN 8' TO A TYPE "C" CURB OR 7' TO A VALLEY CUTTER.
- CLEAR SPACES AROUND FIRE HYDRANTS ARE REQUIRED WHEN HYDRANTS ARE PLACED WITH IN 8 FEET OF ALL SIDEWALKS, DRIVEWAYS, TURN TABLES, OR PARKING AREAS.
- A BLUE REFLECTIVE MOUNTAIN SIGN SHALL BE PROVIDED IN THE CENTER OF THE NEAREST LANE OF TRAFFIC PERPENDICULAR TO ALL FIRE HYDRANT LOCATIONS.
- CLEARANCE BETWEEN BOTTOM OF BOLTS AND GRADE SHALL BE 6" MINIMUM.

CONTRACTOR SHALL COLOR CODE THE TOP OF EACH HYDRANT INDICATED BY THE GALLONS PER MINUTE OF FLOW. THE BODY OF ALL FIRE HYDRANT SHALL BE PAINTED YELLOW (DUST-COLOR #944 SAFETY YELLOW, O.A.E. WITH A 40 MI. DTY.) AND THE TOP COLOR CODED AS FOLLOWS:

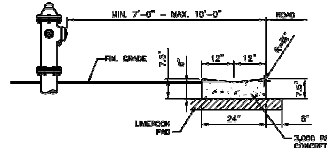
FLOW	COLOR OF BONNETS & CAPS
1,000 GPM OR GREATER	BLUE
1,000 GPM OR GREATER	GREEN
500-1,000 GPM	ORANGE
LESS THAN 500 GPM	RED

FIRE HYDRANT ASSEMBLY DETAIL

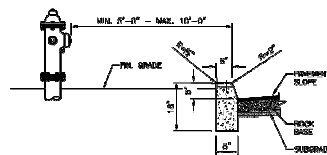
TYPICAL CURB MARKING AT HYDRANT LOCATION



VALLEY CUTTER



TYPE "D" CURB



STANDARD FIRE HYDRANT PLACEMENT DETAIL

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY OF MIRAMAR, WATER AND WASTE WATER SPECIFICATIONS.
- P.V.C. WATER MAIN TO BE 1120 S.D.R. 18 CONFORMING TO A.N.S.I. / A.W.W.A. C-900-07 WITH A MINIMUM COVER OF 36". SEE CITY OF MIRAMAR'S STANDARD SECTION 4.03 SUBSECTION A FOR PIPE CLASS.

*** TESTING / WATER MAIN**

WATER MAINS SHALL BE TESTED IN ACCORDANCE WITH A.N.S.I. / A.W.W.A. STANDARDS C-600-05

- HYDROSTATIC TESTS SHALL BE CONDUCTED AS FOLLOWS:
AFTER A NEW PRESSURE MAIN HAS BEEN LAID AND BACKFILLED, IT SHALL BE PUMPED TO A PRESSURE OF 150 P.S.I. AND SHALL NOT VARY BY MORE THAN ±5 P.S.I. FOR THE DURATION OF THE TEST. ALL VISIBLE LEAKS SHALL BE STOPPED BY APPROVED METHODS. A LEAKAGE TEST SHALL THEN BE CONDUCTED AT THE ABOVE MENTIONED PRESSURE AND NO INSTALLATION WILL BE ACCEPTABLE BY THE ENGINEER UNTIL THE LEAKAGE IS LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:

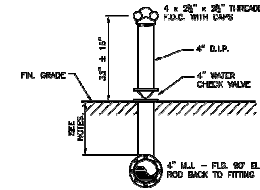
$$Q = \frac{10}{118,000} \frac{L \cdot P^2}{A.N.S.I. / A.W.W.A. C600 - 05 STANDARDS}$$

IN WHICH Q EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR; L = LENGTH OF LINES IN FEET; D = DIAMETER OF LINES IN INCHES; AND P IS THE AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUNDS PER SQUARE INCH. THE TEST SHALL BE MAINTAINED FOR A TWO (2) HOUR DURATION, BUT IT MAY BE CONTINUED FOR ONE (1) ADDITIONAL HOUR IF IT BECOMES APPARENT THAT THE LEAKAGE IS EQUAL TO OR GREATER THAN THE AMOUNT ALLOWABLE. WATER SUPPLIED TO THE MAIN DURING THE TEST TO MAINTAIN THE REQUIRED PRESSURE SHALL BE MEASURED BY A 5/8 INCH METER INSTALLED, ON THE DISCHARGE SIDE OF THE TEST PUMP, OR BY PUMPING FROM A CALIBRATED CONTAINER. A HOSE BIB CONNECTION WILL BE PROVIDED TO ACCEPT THE TEST GAUGE SUPPLIED BY THE CITY OF MIRAMAR. THE SECTION OF THE MAIN BEING TESTED SHALL BE LIMITED TO A MAXIMUM LENGTH OF 2000 FEET, OR THE DISTANCE BETWEEN THE TWO (2) CLOSEST VALVES, WHICHEVER IS GREATER. WHEN TESTING AGAINST CLOSED METAL-SEATED VALVES, AND ADDITIONAL LEAKAGE PER CLOSED VALVE OF 0.00025 GAL/HR/IN OF NOMINAL VALVE SIZE SHALL BE ALLOWED. ANY QUESTIONS PERTAINING TO PROCEDURES USED DURING THE TEST SHALL BE DIRECTED BY THE ENGINEER.

- STERILIZATION SHALL BE PERFORMED AFTER THE WATER MAINS HAVE SATISFIED THE LEAKAGE REQUIREMENTS. THE WATER MAINS SHALL BE FLUSHED THROUGH OPENINGS OF THE REQUIRED SIZE AS DETAIL IN A.N.S.I. / A.W.W.A. STANDARDS C-61-05. THE MAIN SHALL THEN BE STERILIZED IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE SECTIONS OF THE ABOVE NAMED SPECIFICATIONS, ON MAIN BREAKS, CUT-INS, ETC. A LIBERAL APPLICATION OF CALCIUM HYPOCHLORITE SHALL BE MADE.
- MAINS SHALL NOT BE PUT INTO DOMESTIC SERVICE UNTIL AFTER THE NECESSARY BACTERIOLOGICAL SAMPLES HAVE BEEN APPROVED BY THE APPLICABLE REGULATORY AGENCIES.

- DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 36" MINIMUM.
- DEPTH OF COVER TO TOP OF DIP UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

STANDARD FIRE DEPARTMENT CONNECTION DETAIL



THERE SHALL BE NO SHUT OFF VALVE IN THE FIRE DEPARTMENT CONNECTION.
REF. 54 E-63

TESTING / WATER SERVICE

- HYDROSTATIC TESTING: HYDROSTATIC TESTING OF WATER SERVICE LINES SHALL BE DONE IN CONJUNCTION WITH THE TESTING OF THE LATERAL OR MAIN LINE. NO ADDITIONAL LEAKAGE ALLOWANCE WILL BE MADE FOR SERVICE LINES.
- STERILIZATION: STERILIZATION OF SERVICE LINES SHALL BE DONE IN CONJUNCTION WITH THE STERILIZATION OF THE LATERAL OR THE MAIN LINE. SUFFICIENT SAMPLING POINTS SHALL BE TAKEN FROM SERVICE LINE CONNECTIONS TO ASSURE UNIFORM RESULTS THROUGHOUT THE SYSTEM BEING TESTED.

ALL FIRE LINES TO BE INSTALLED AND TESTED PER N.F.P.A. 24 CODE. CONTRACTOR TO TAKE NOTE THAT PRESSURE TEST ON THIS LINE WILL BE AT 250 P.S.I., AND PIPE AND VALVES SHOULD MEET THIS REQUIREMENT.

NOTES ON WATER - SEWER SEPARATION:

- SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- WHERE SANITARY SEWERS OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (D.I.P.) AT THE CROSSING. SUFFICIENT LENGTHS OF D.I.P. MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSING.
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON CROSSING).
- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF D.I.P. AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF D.I.P. WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- SEE CITY OF MIRAMAR'S STANDARD SECTION 4.03 SUBSECTION A FOR PIPE CLASS.

CITY OF MIRAMAR
APPROVAL
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

WATER AND SEWER DETAILS

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA
Digitally signed by Imtiaz Ahmed
Date: 2025.04.06 21:19:04 -04'00'
SEAL

RESIDENTIAL DEVELOPMENT
6340 SW 25th ST.
MIRAMAR, FLORIDA

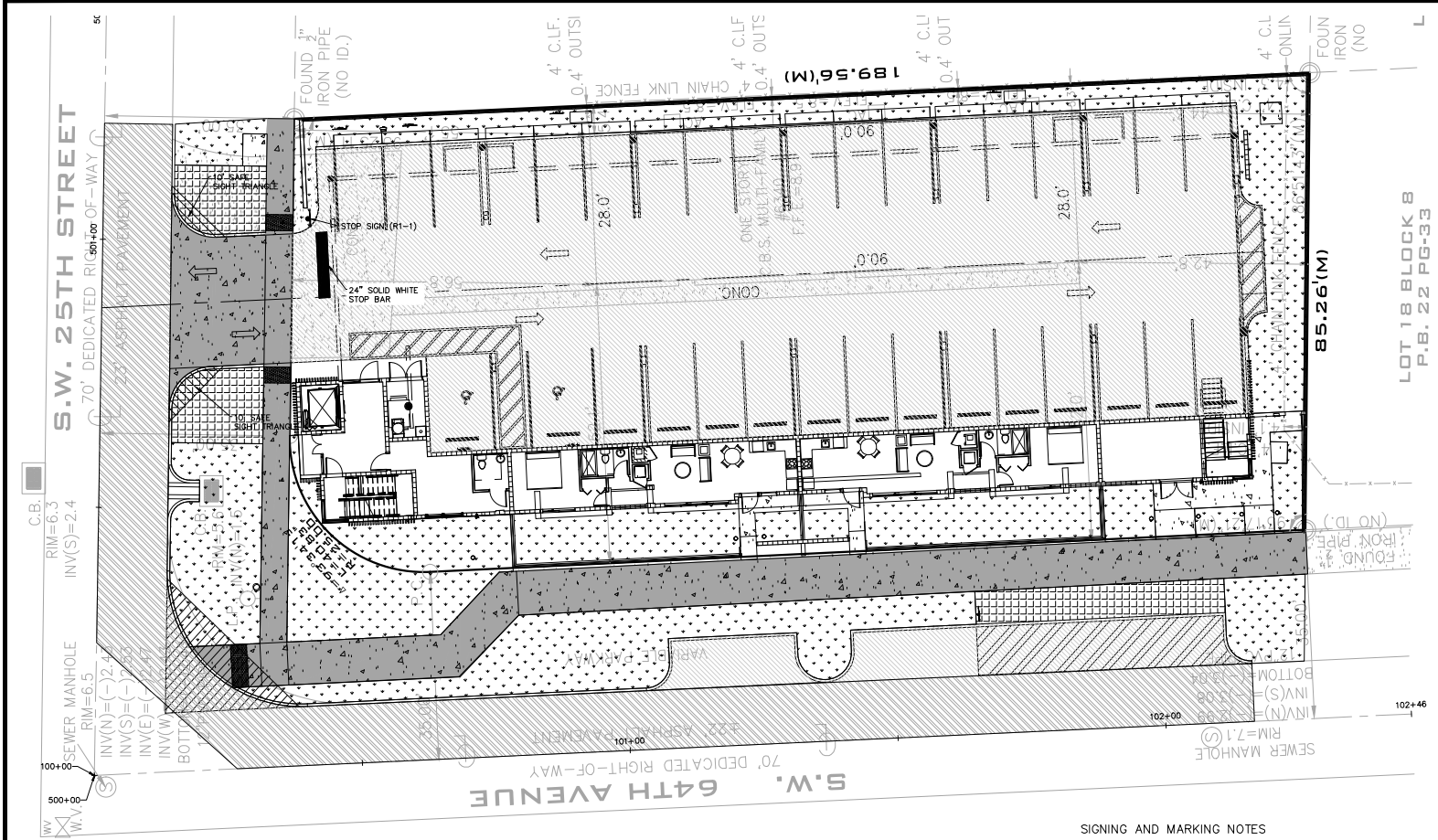
ATLANTIC ENGINEERING SERVICES, INC.
200 C2 CROSSINGS DRIVE
WEST PALM BEACH, FLORIDA 33413
DATE: 06/25/2025
P.L. = (561) 966-9242
FAX = (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 8390

PROJ. NO. 0000
SCALE: AS SHOWN

DCL	CHK.
DES.	DWN.

WS4

DATE DRAWN: 2023
JUNE, 2025



SIGNING AND MARKING NOTES

- A. ALL PAVEMENT MARKINGS SHALL BE HOT APPLIED THERMOPLASTIC MANUFACTURED AND APPLIED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATION'S SECTION 711.
- B. ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. REFLECTIVE PAVEMENT MARKERS SHALL BE CLASS B MARKERS MANUFACTURED IN ACCORDANCE
- C. WITH F.D.O.T. STANDARD SPECIFICATIONS 706 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.

CITY OF MIRAMAR
APPROVAL
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

PAVEMENT MARKING PLAN

PROJ. NO. 0000
 SCALE: AS SHOWN
 DCL
 DES. DWN. CHK.
 SHEET NUMBER
PM1
 DATE DRAWN
 JULY, 2024

ATLANTIC ENGINEERING SERVICES, INC.
 200 C2 CROSSWINDS DRIVE
 WEST PALM BEACH, FLORIDA 33413
 PHONE - (561) 866-9240
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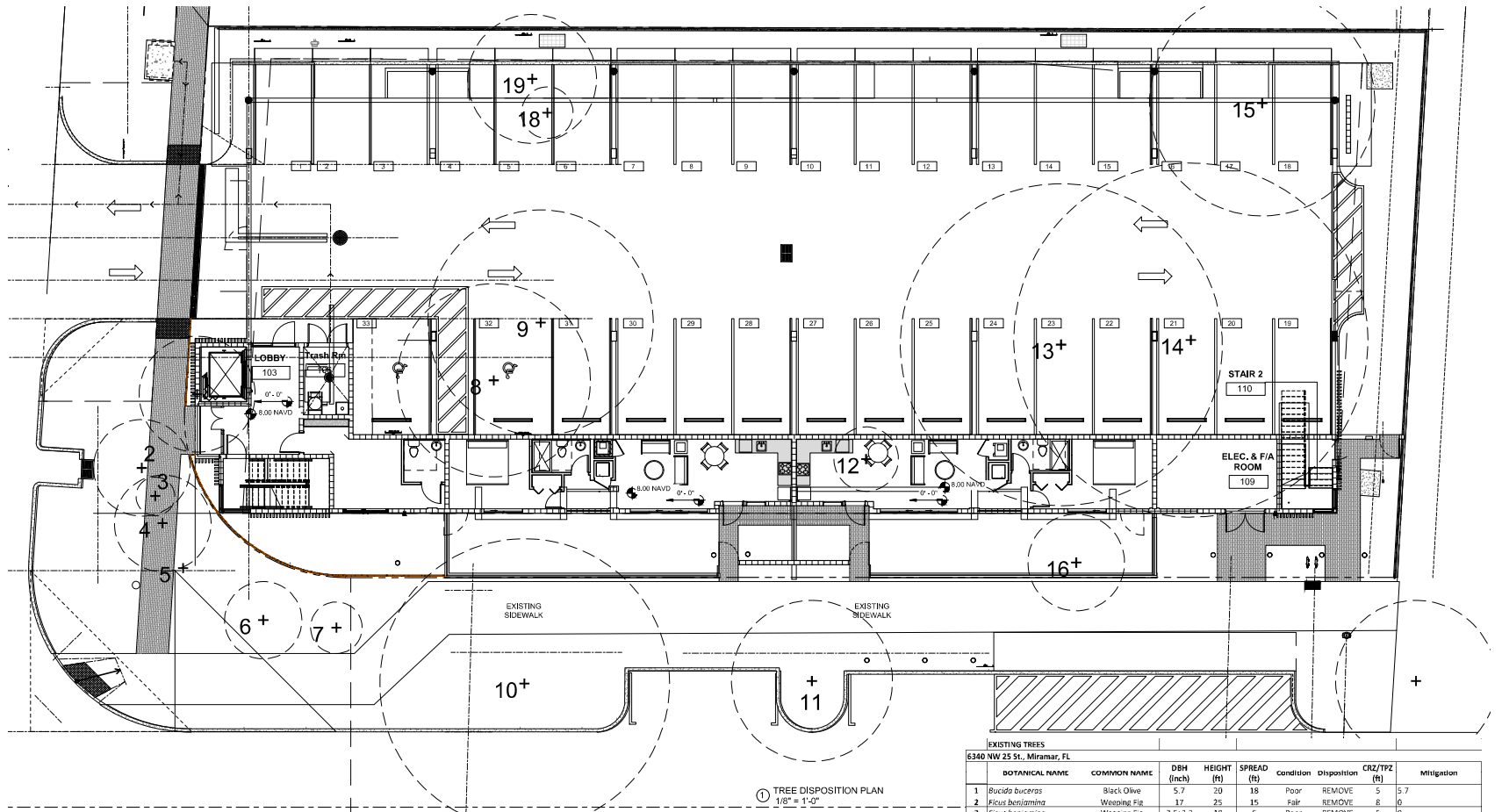
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SEAL

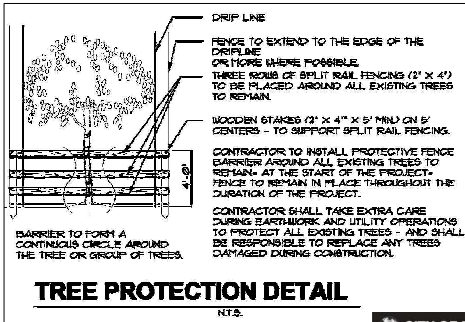
Imtiaz Ahmed
 Digitally signed by Imtiaz Ahmed
 Date: 2025.04.06 21:19:20-04'00'

IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 44102
 STATE OF FLORIDA

REV.	DESCRIPTION	DATE
1		
2		
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① TREE DISPOSITION PLAN
1/8" = 1'-0"



TREE PROTECTION DETAIL

NETS

EXISTING TREES										
6340 NW 25 St., Miramar, FL										
	BOTANICAL NAME	COMMON NAME	DBH (inch)	HEIGHT (ft)	SPREAD (ft)	Condition	Disposition	CRZ/TFZ (ft)	Mitigation	
1	<i>Bucida buceras</i>	Black Olive	5.7	20	18	Poor	REMOVE	5	5.7	
2	<i>Ficus berliana</i>	Weeping Fig	17	25	15	Fair	REMOVE	8	0	
3	<i>Ficus berliana</i>	Weeping Fig	3.6+2.3	18	6	Poor	REMOVE	5	0	
4	<i>Ficus berliana</i>	Weeping Fig	7	25	15	Poor	REMOVE	5	0	
5	<i>Ficus berliana</i>	Weeping Fig	3.4	15	0	Poor/Dead	REMOVE	0	0	
6	<i>Ficus berliana</i>	Weeping Fig	8.5	15	12	Moderate	REMOVE	5	0	
7	<i>Ficus berliana</i>	Weeping Fig	3.8	15	8	Moderate	REMOVE	5	0	
8	<i>Bucida buceras</i>	Black Olive	13.9	40	30	Moderate	REMOVE	10	13.9	
9	<i>Bucida buceras</i>	Black Olive	16.2	45	35	Fair	REMOVE	12	16.2	
10	<i>Quercus virginiana</i>	Live Oak	26.6	40	45	Fair	REMAIN	18	0	
11	<i>Quercus virginiana</i>	Live Oak	13.7	25	25	Fair	REMAIN	10	0	
12	<i>Syagrus romanzoffiana</i>	Queen Palm	9.6	18	10	Fair	REMOVE	3	9.6	
13	<i>Bucida buceras</i>	Black Olive	10+6+7+ 5+8+9"	50	50	Mod-Fair	REMOVE	18	*or 30 oa	
14	<i>Bucida buceras</i>	Black Olive	29.8	60	55	Fair	REMOVE	18	24.8	
15	<i>Quercus virginiana</i>	Live Oak	28.4	50	35	Moderate	REMOVE	18	28.4	
16	<i>Eriobotrya japonica</i>	Loquat	4.1+4.3	20	15	Fair	REMOVE	8	8.4	
17						Could not be located				
18	<i>Psychotria elegans</i>	Saltate Palm	3	25	8	Fair	REMOVE	3	3	
19	<i>Schefflera octophylla</i>	Umbrella Tree	-25	25	20	Moderate	REMOVE	NA	0	
NA	<i>Quercus virginiana</i>	Live Oak	-27	50	50	Fair	Remain	20	Offsite (east)	
NA	<i>Quercus virginiana</i>	Live Oak	22	25	45	Fair	Remain	18	Offsite (ROW south)	
NA	<i>Elaeagnus decipiens</i>	Japanese Blueberry	-4	20	8	Fair	Remain	4	Offsite (south)	
NA	<i>Quercus virginiana</i>	Live Oak	-24	40	40	Fair	Remain	20	Offsite (east)	

Mitigation required = 140'
Mitigation provided = \$25,200

Tree evaluations provided by Treage LLC Arborist Alison Walker ISA FL 99174
Refer to full arborist report.

SKLARarchitecture
Commercial & Residential Architecture
P: 954 925 9292
www.sklararchitect.com

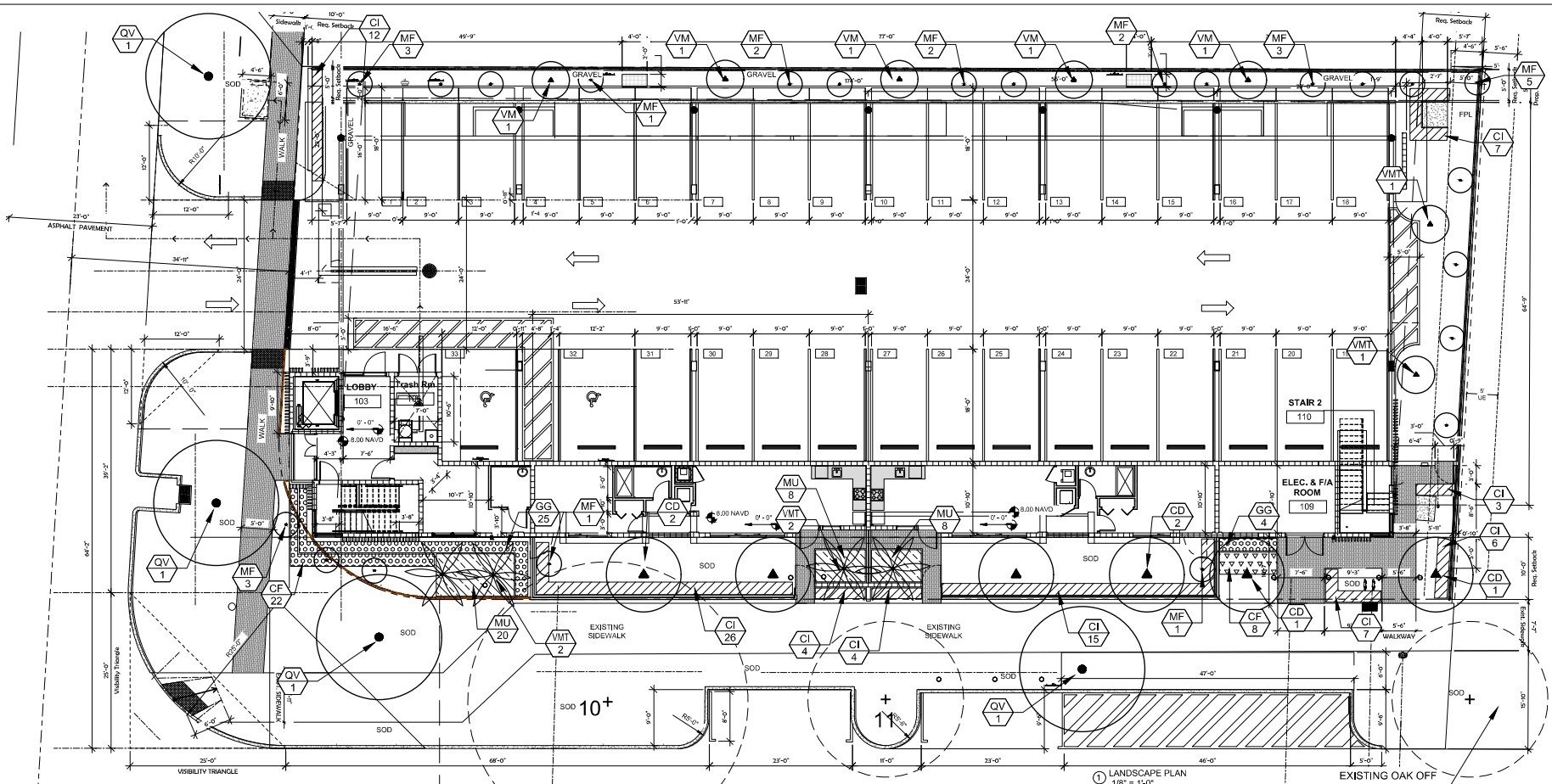
PREPARED BY: Kimberly Moyer, RLA
Landscape Architecture
(954) 592-3695
k.moyerla@gmail.com
Lic. No. #LA0000952

NEW RESIDENTIAL DEVELOPMENT
6340 SW 25TH ST MIRAMAR FL., CORNER OF 63 AVE. & SW 125TH ST.

CITY OF MIRAMAR
APPROVAL
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

TREE DISPOSITION PLAN
Ⓢ

Date: 03-20-2025
TD-1



1 LANDSCAPE PLAN
1/8" = 1'-0"

EXISTING OAK OFF
SITE TO REMAIN

NOTES:

1. PLANT PALMS SO THAT THE TOP OF ROOFTOP IS CLEAR OF FINISH GRADE.
2. SET PALMS PLUMB & TRUE TO GRADE.
3. SET FINISH GRADE TO PROTECT GROWING TIPS.
4. FOR A & B PALMS CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOFTOP.
5. "NURTURE" OUT SMALL PALM FRONDS.

NOTES:

1. SET TREE CLIMBER TREE TO GRADE.
2. PLANT TREE TO GRADE TO PROTECT GROWING TIPS.
3. REMOVE BURLAP FROM TOP OF ROOFTOP.
4. REMOVE BURLAP FROM TOP 1/3 OF ROOFTOP.
5. "NURTURE" OUT SMALL PALM FRONDS.

NOTE: ALL STAKING & GUYS SHALL BE REMOVED APPROXIMATELY 9 MONTHS AFTER PLANTING OR AS DIRECTED BY LANDSCAPE ARCHITECT

NOTES:

1. CONTAINER GROWN SHRUBS - LOOSEN ROOTS AT EDGE OF ROOFTOP.
2. REMOVE BURLAP FROM TOP 1/3 OF ROOFTOP.
3. WHERE NURSERY & BRIDGES ARE PLANTED IN BEDS, EXCAVATE ENTIRE BED & FILL W/ PLANTING MIXTURE.
4. DEPTH OF PLANTING PIT SHALL NOT BE LESS THAN 1 1/2 TIMES THE DEPTH OF THE ROOFTOP.

NOTE: All ground mounted equipment including but not limited to electrical mechanical equipment, storage areas, walls, fences, & common trash receptacles shall be screened from view using trees, shrubs, and/or hedges.

Note: All trees to be planted a minimum of five feet from underground utility lines.

Plant List

Item	Qty	Botanical Name	Common Name	Size	Native	Drought Tolerance
CI 1	4	Quercus agrifolia	Live Oak	12" H x 4" DB	Yes	High
CI 6	6	Coccoloba floridana	Pigeon Plum	12" H x 4" DB	Yes	High
MF 1	23	Marrubium angustifolium	Common Horseradish	12" H x 3" DB	Yes	High
MF 5	5	Valeriana officinalis	Valerian	14" H x 4" DB	No	Medium
MF 3	3	Valeriana officinalis	Valerian	14" H x 4" DB	No	Medium
GG 1	61	Chrysobalanus icaco	Coccoloba	24" x 24" x 24" OC	Yes	Medium
GG 2	33	Quercus agrifolia	Live Oak	24" x 24" x 24" OC	No	High
GG 3	29	Capriphagnus	Travertine	24" x 24" x 24" OC	No	High
MU 2	28	Muhlenbergia capillaris	White Grass	18" x 18" x 24" OC	Yes	High
SOD		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 1		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 2		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 3		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 4		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 5		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 6		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 7		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 8		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 9		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 10		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 11		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 12		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 13		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 14		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 15		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 16		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 17		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 18		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 19		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 20		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 21		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 22		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 23		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 24		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 25		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 26		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 27		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 28		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 29		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 30		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 31		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 32		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 33		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 34		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 35		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 36		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 37		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 38		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 39		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 40		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 41		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 42		SOD	SOD	18" x 18" x 24" OC	Yes	High
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CD 46		SOD	SOD	18" x 18" x 24" OC	Yes	High
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CD 98		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 99		SOD	SOD	18" x 18" x 24" OC	Yes	High
CD 100		SOD	SOD	18" x 18" x 24" OC	Yes	High

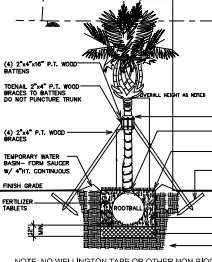
Landscape Requirements

Zoning Req'd

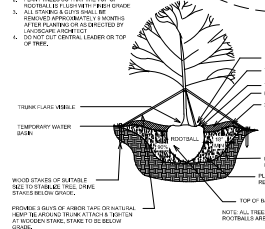
Site Area: 16,078 sf

Open Space 4369 sf

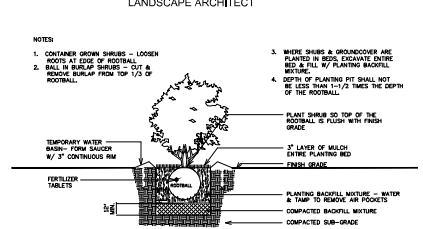
Description	Code Requirement	Application	Required	Provided
Perimeter Buffer	1 shade, 2 ornamental 40LF			
North Perimeter	50' 40 LF	2 shade 4 ornamental	3 ornamental	
South Perimeter	50' 40 LF	2 shade 4 ornamental	3 ornamental	2 palms
West Perimeter	150' 40 LF	5 shade 10 ornamental	5 shade 2 ornamental	2 palms
East Perimeter	150' 40 LF	5 shade 10 ornamental	5 shade 2 ornamental	2 palms
Street Trees	17 40 LF			
SW 25th Street	50' 40		2	2
SW 6th Ave	150' 40		5	5
Native Trees	50%	44 (26)	22	33
Native Shrubs	50%	178 (10)	89	109



PALM PLANTING DETAIL



TREE STAKING DETAIL



SHRUB PLANTING DETAIL

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(954) 592-3695
k.moyerla@gmail.com
Lic. No. #LA0000952

NEW RESIDENTIAL DEVELOPMENT
6340 SW 25TH ST MIRAMAR FL., CORNER OF 63 AVE. & SW 125TH ST.

CITY OF MIRAMAR
APPROVAL
DEVELOPMENT REVIEW COMMITTEE
DATE: 06/25/2025

LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

Date: 03-20-2025
L-1

